



ALORA 18
4 BHK PREMIUM VILLA

Developers: Shakti Infra
Site: ALORA 18, B/h Nilkanth Palm,
Opp Shri Asharamji Ashram, Bill Road,
Vadodara, Gujarat 391410
M: +91 95100 30081
E-mail: shakti_infra@yahoo.com

Architect: Matai associates
Structural consultant: Chetan kambad

ALORA 18
4 BHK PREMIUM VILLA



your home
is where your heart is happy



Step Into a World of

DREAMS

Indulge in the epitome of luxury living with our exclusive villa project, featuring only 18 beautifully crafted villas.

Nestled in lush greenery, each villa is a masterpiece of luxury, a testament to sophistication, offering bespoke design, premium amenities, and serene surroundings. Experience the privilege of owning a limited-edition home in this exclusive paradise.



Walk into
a Space of
**RICH
PLEASURES**

Immerse yourself in an exquisite campus, that harmoniously blends nature's beauty with architectural finesse.

Meticulously planned internal lanes capture elegance, functionality, and comfort, creating spaces that reflect refined taste. Every corner narrates a story of attention to detail, offering an unmatched living experience that's both captivating and inviting. The stylish elevation of your villas adds to the grandeur.





- Elegant Society Entrance Gate
- Number Plate to Maintain the Uniformity of the Project
- Underground Cabling for Electricity
- Water & Drainage Facility
- Termite Resistance Treatment
- Individual 3-Phase Electric Connection
- Tremix Concrete / Heavy Paver Block Internal Road with Designer Street Lights

VALUE ADDED AMENITIES



STRUCTURE:

- All RCC & Brick Masonry work as per structural engineer's design.

FLOORING:

- High grade Nano finish GVT tile flooring
- Tiles Flooring in Parking Area

DOORS & WINDOWS:

- Doors: Elegant Wooden Entrance Door, Internal Flush Doors, Artificial Stone frames in all doors
- Windows: Anodized Powder Coated Aluminium Section Windows with safety Grill.

PAINT & FINISH:

- Interiors: Smooth Plaster with Wall Putty & Primer
- Exteriors: Double Coat Plaster with water proof paint.

KITCHEN:

- Exclusive GVT tile flooring in kitchen Platform with sink and designer tiles upto lintel level
- Wash area: Tiles dado and Flooring tile.

TERRACE:

- Open terrace finished with chemical water proofing.

ELECTRIFICATION:

- Concealed copper wiring of approved quality
- Branded Premium quality modular switches with sufficient electrical points as per architect's plan

BATHROOMS & TOILETS:

- Designer bathrooms with Premium Tiles upto Lintel Level
- Branded Premium Bath fittings
- Premium Branded Plumbing Fixtures and Vessels

WATER SUPPLY:

- Water supply through overhead & underground tanks

SPECIFICATIONS



LEISURE AMENITIES



Multi Purpose Hall



Outdoor Sitting Area



Landscaped Garden





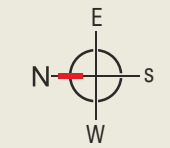
LAYOUT PLAN



Area Table

| | |
|----|---------|
| 1 | 1394.90 |
| 2 | 1130.00 |
| 3 | 1130.00 |
| 4 | 1130.00 |
| 5 | 1130.00 |
| 6 | 1130.00 |
| 7 | 1355.00 |
| 8 | 2070.24 |
| 9 | 1087.70 |
| 10 | 1087.70 |
| 11 | 1087.70 |
| 12 | 1087.70 |
| 13 | 1133.66 |
| 14 | 1403.73 |
| 15 | 1971.85 |
| 16 | 1989.00 |
| 17 | 2065.71 |
| 18 | 2274.54 |

□ TYPE-A □ TYPE-B

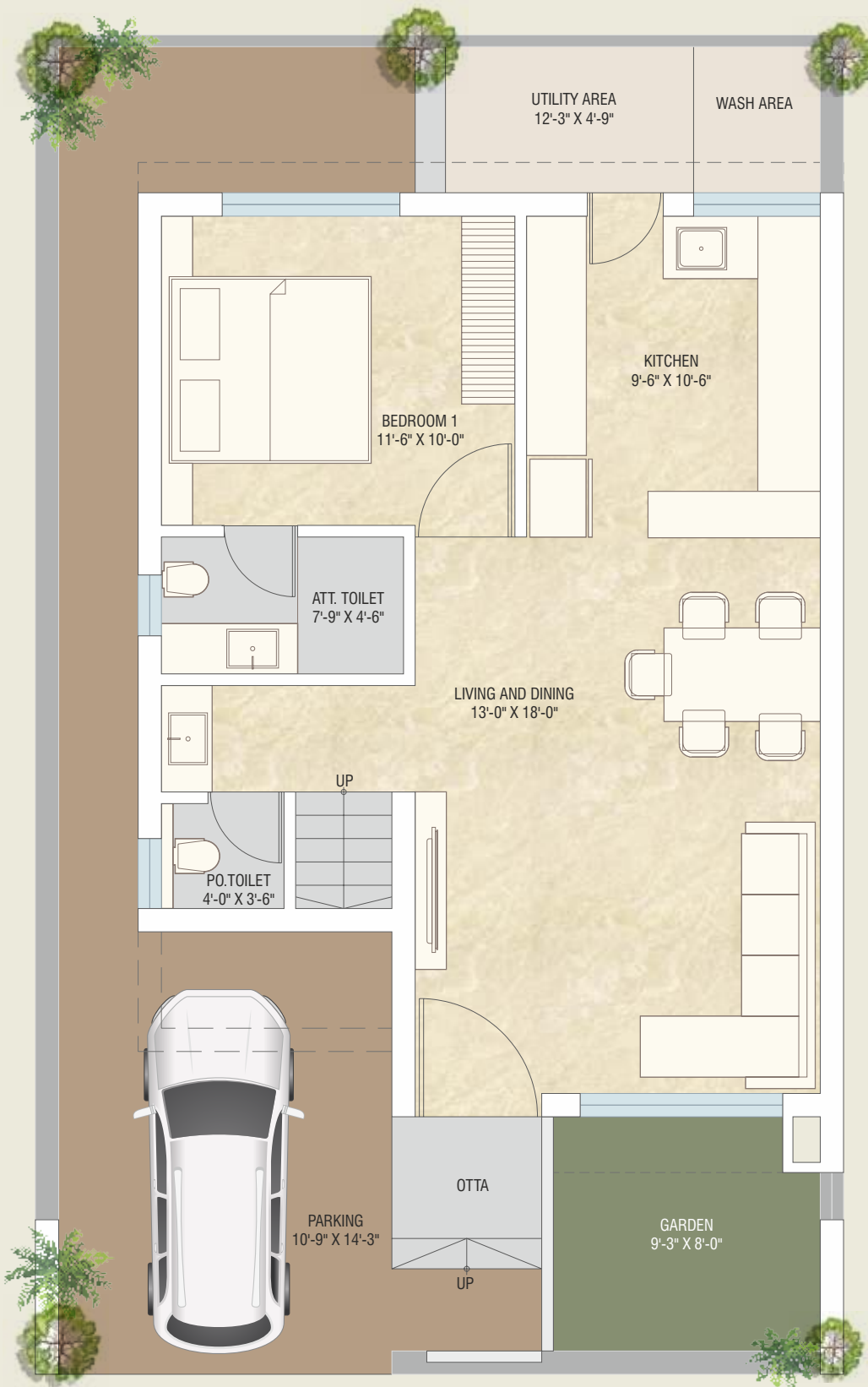


TYPE -A

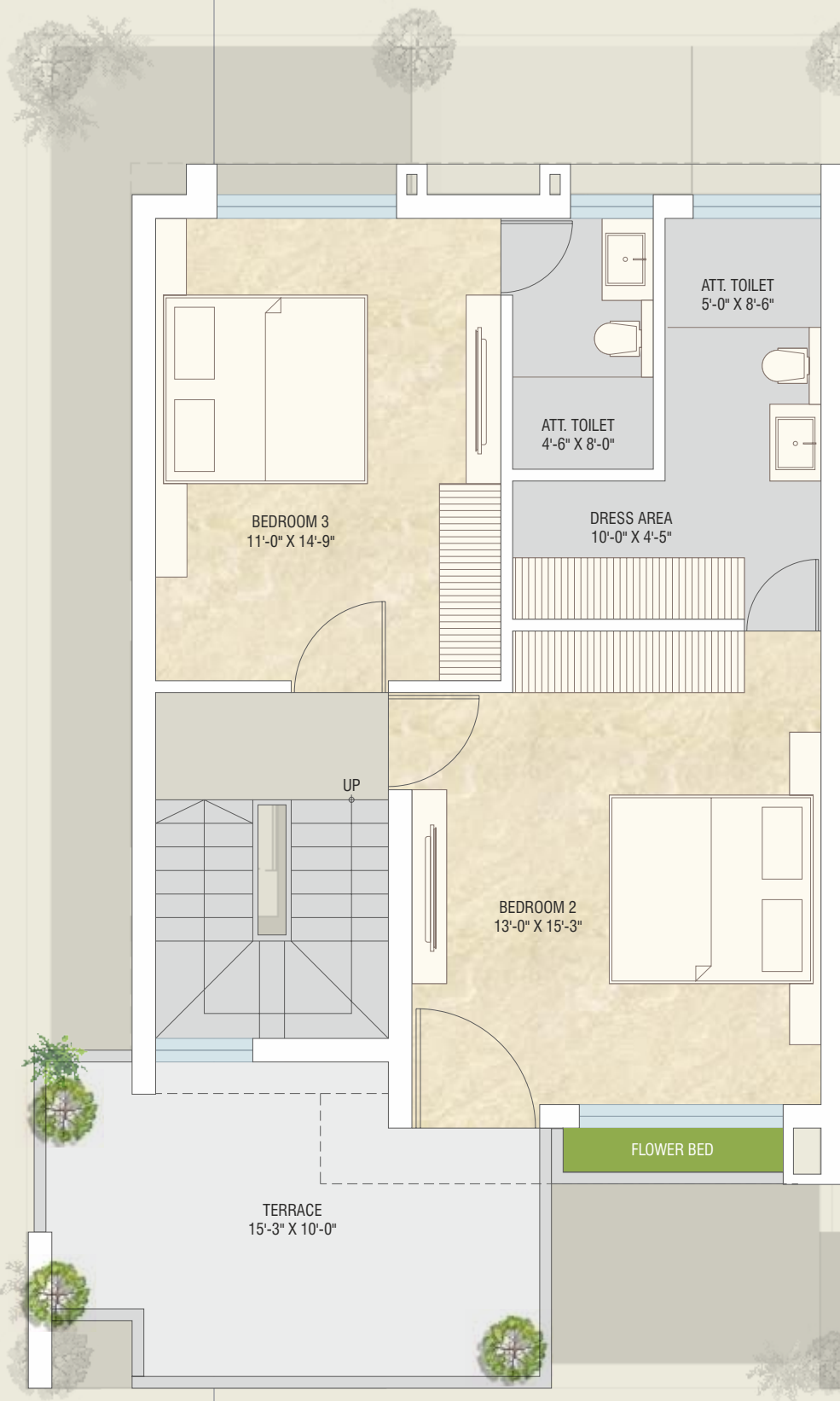
Ground Floor Built up Area = 705.35 sq.ft. + 161.13 sq.ft.(Porch)
 First Floor Built up Area = 722.36 sq.ft.
 Second Built up Area = 552.18 sq.ft.
 Total Built Up Area = 2141.02 sq.ft.



GROUND FLOOR PLAN



FIRST FLOOR PLAN

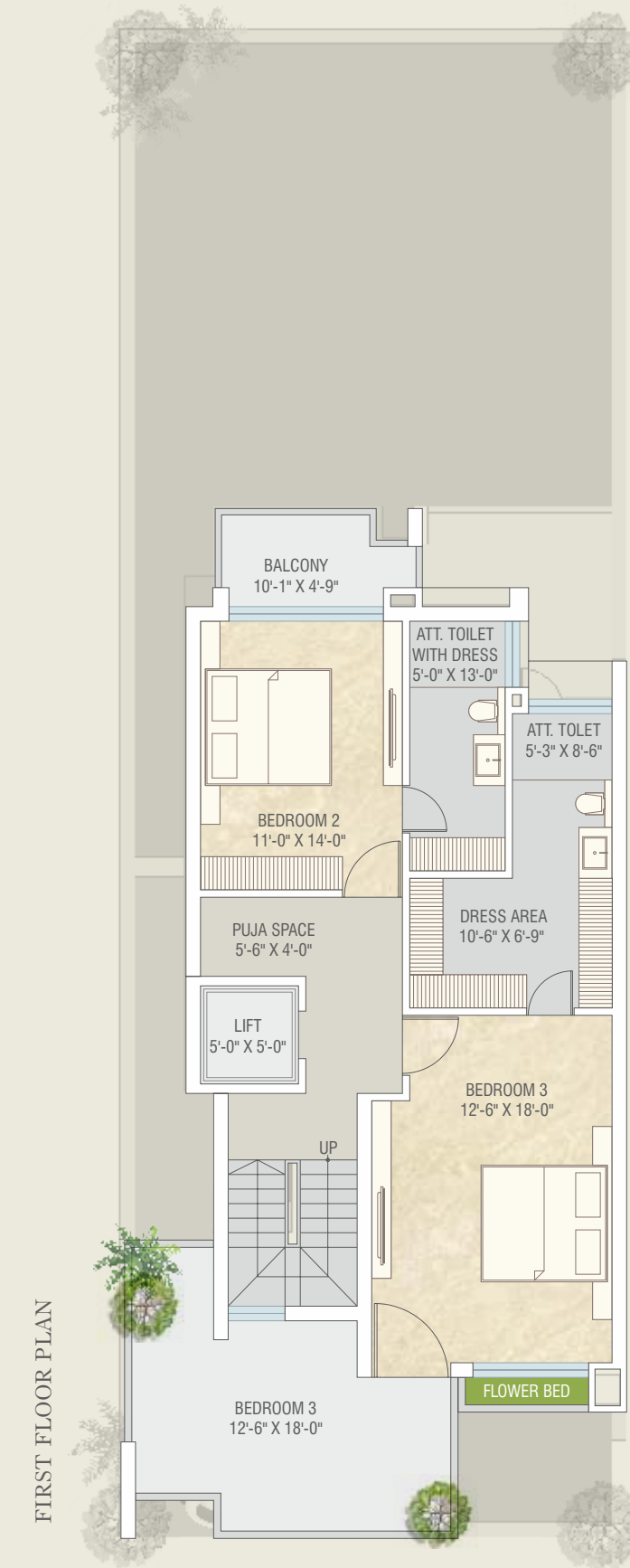


SECOND FLOOR PLAN



TYPE -B

Ground Floor Built up Area = 932.69 sq.ft. +
192.24 sq.ft.(Porch)
First Floor Built up Area = 897.60 sq.ft.
Second Built up Area = 767.68 sq.ft.
Total Built Up Area = 2760.21 sq.ft.





Notes: 1) Possession will be given after one month of settlement of all accounts. 2) Documentation charges, Development Charges, Stamp duty, MGVL & VMSS charges, GST, Legal Charges & common maintenance charges will be paid by the purchaser. 3) Any new Central or State Government Taxes, if applicable shall have to be borne by the purchaser. 4) Extra work shall be executed after making full payment. 5) Continuous default payments leads to cancellation. 6) Developers shall have the right to change the plan, elevation, specification or rise the scheme or any details here in will be binding to all. 7) In case of delay in water supply, light connection, drainage work by authority, developers will not be responsible. 8) Refund in case of cancellation will be made within 30 days from the date of booking of same unit by a new client. In case of cancellation of booking 10% of the booking amount plus extra work (if done) will be deducted from the booking amount. 9) Any plans, specifications or information in this brochure can not form part of an offer, contract or agreement. 10) This Brochure does not contain any legal part as per rera.

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