

Your Pathway To
Unprecedented Living



**ANJANI
VILLA**



4B2HK LUXURIOUS VILLAS

Developers :
ANJANI INFRA

Site Address :
Anjani Villa, Behind Prakruti Harmony,
Bil Kalali Road, Bil - 391410

M : +91 99980 69954 | 85111 61455
E : anjaniinfra10@gmail.com

Architect : **space plus**

Structure : **Zarna Associates**

RERA No. : PR/GJ/VADODARA/VADODARA/Others/RAA12491/171023 - gujrerar1.gujarat.gov.in

Living Beyond Ordinary

Welcome to your divine home, where every corner is infused with warmth and comfort, creating an inviting sanctuary that embraces you the moment you step in. Here, life unfolds in a harmonious rhythm, blending luxurious aesthetics with thoughtful design. Our commitment to excellence is evident in every meticulously crafted detail, ensuring that your experience is nothing short of extraordinary.



Luxury Redefined

Nestled amidst nature's embrace, the front view of our exquisite villa is nothing short of a breathtaking masterpiece.



Layout Plan

PLOT AREA IN SQ.FT.

01	1711.00	06	1310.00	11	1310.00
02	1310.00	07	1614.00	12	1310.00
03	1310.00	08	1310.00	13	1310.00
04	1310.00	09	1310.00	14	1709.00
05	1310.00	10	1310.00		



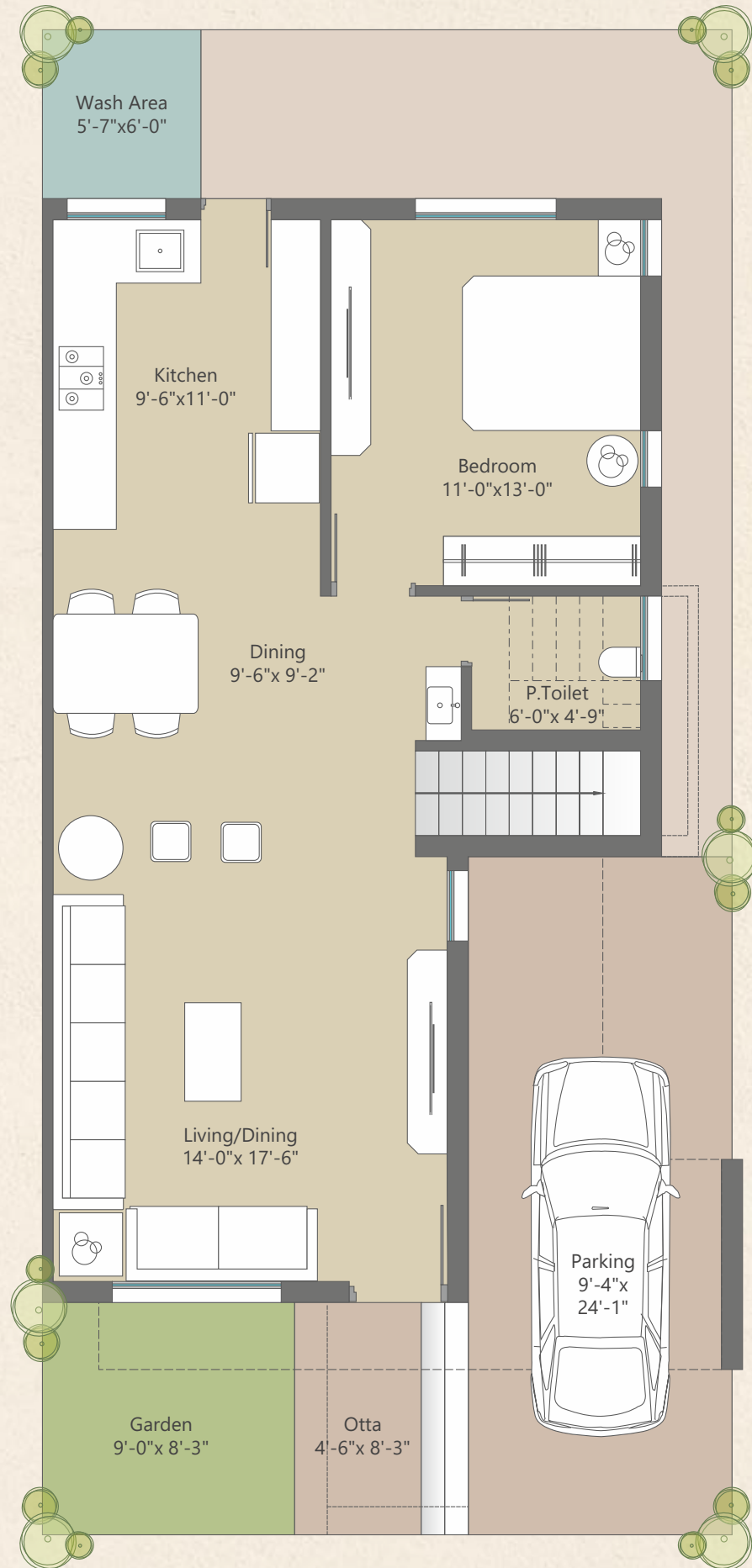


Indulge in
PURE LUXURY

Unit Floor Plan

Built up Area. : 2434 sq.ft.

GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN





Luxury Unveiled

Elevate Your Lifestyle with Elegance

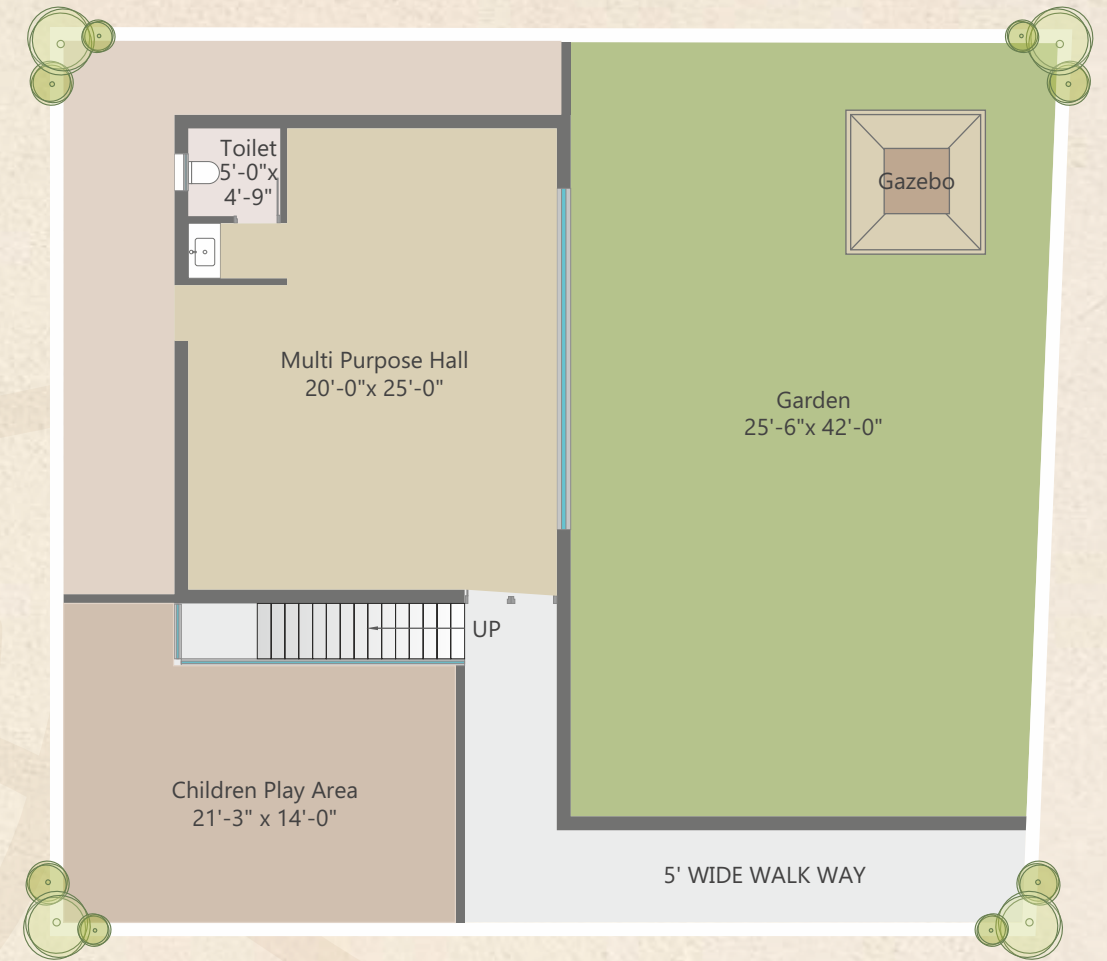
Indulge in the epitome of refined living with our exquisite luxury villas





Club House Plan









GROUND FLOOR PLAN



FIRST FLOOR PLAN



Amenities

-  Exclusive Entrance Gate
-  Club House
-  Multipurpose Hall
-  Internal RCC Road
-  Landscape Garden
-  Game Room
-  Compound Wall As Per Architect's Design
-  Children's Play Area
-  Senior Citizen Sitting Area
-  24 X 7 Hrs Water Supply
-  Gazebo
-  24 X 7 Security With CCTV Surveillance

Specification



STRUCTURE

- All RCC & Masonry work as per structural engineer's design.
- Elevation work as per Architect's Design.



FLOORING

- High Quality vitrified tiles flooring in all rooms.
- Passage area & stair case with vitrified tiles & Natural Stones.



BATHROOMS

- Premium ceramic tiles, Branded quality bath fittings and sanitary wares.
- Granite counter with ceramic wash basin.
- Tiles up to lintel level in all bathrooms
- Concealed internal plumbing.



KITCHEN

- Granite platform with Sink & designer tiles.
- Wash area with dado tiles & flooring.



DOORS & WINDOWS

- Main door : High quality wooden frame door with veneer paneling on both sides and standard quality safety lock.
- Internal doors : Flush doors with granite frame & both sides decorative laminates.
- Anodized aluminium sliding windows with mosquito net & safety grills.



ELECTRIFICATION

- Concealed standard quality ISI wiring, MCB/ELCB & branded modular switches with sufficient electrical point in all areas.
- Provision for TV & internet points at convenient locations.



PAINT

- Internal walls : Two coat putty.
- External walls : Weather proof paint.

Location WITHIN VMC LIMIT



Payment Modes : 10 % ON BOOKING • 30 % ON PLINTH LEVEL • 15 % ON GF SLAB • 15 % ON FF SLAB • 10 % ON SF SLAB
• 10 % AT PLASTER LEVEL • 05 % AT FLOORING • 05 % ON FINISHING

Notes : (1) Possession will be given after one month of settlement of all accounts. (2) Extra work will be executed after receipt of full advance payment. (3) Stamp Duty Registration Charge , GST or any new Central Govt State Govt. VUDA taxes , if applicable shall have to borne by the client. (4) Continuous default payments leads to cancellation (5) Architect / Developers shall have the rights to change or revise the scheme or any details herein and any change or revision will be binding to all. (6) Incase of delay in electrical connection by authority, developers shall not be responsible (7) All dimensions are indicative and actual dimensions in each room might vary. (8) Plot area shown in list is as per site condition and may vary. (9) Common compound wall of individual unit will be as per architect design (10) Water connections is from society bore well and drainage connection will be common soak pit. (11) Any plans , specifications or information in this brochure cannot form part of an offer, contract agreement. (12) All members shall have to essentially be part of the society formed by the association members and shall have to abide by the society bylaws. (13) After virtual completion of the work all the repair and the maintenance like drainage, watchman salary, clubhouse maintenance , gardening, electricity bill etc. shall borne by society members. (14) Members of society are not allowed to change elevation of bunglows in any circumstances. This brochure shall not be treated as a legal document; It is only for the purpose of information