



Villa Romentika

TIMELESS ELEGANCE



KEY AMENITIES

- Green Building Concepts for planning & construction. Energy efficient features for a sustained energy-efficient living.
- Tremix concrete & heavy paver block internal roads with ample street lights
- Impressive, single entry main entrance gate with security cabin
- Comprehensive Security system along the compound wall periphery
- Underground cabling for electricity, TV & Telephone for a wire-free look

The central area of Villa Romentika is dedicated to leisure. It shall be the hot bed of activity, socializing and recreation.

Choose from the varied facilities, which include:

- Swimming pool
- Well equipped Gym
- Indoor Games area
- Landscaped Garden with children's play area
- Activity area for kids

KEY PLAN



Villa Romentika
TIMELESS ELEGANCE

Google Co-ordinates
22°17'29.8"N 73°07'25.5"E

Key Distances (approx.)
Vasna Jakat Naka: 2.5 Kms.
Havmor Circle/Old Padra Road: 5 Kms.
Race Course Circle: 6 Kms.
Railway Station: 8 Kms.

Developers:
SQUARE FEET REALTY
www.romentika.com

Site: Near Navrachana International School,
Vasna Bhailu Road, Vadodra.

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Terms & Conditions: Possession will be given after one month of settlement of all accounts. • No external elevation changes would be permitted. • Extra work shall be executed after making full payment in advance. • Documentation charges stamp duty, VUDA amenity charges, VAT, service tax, common maintenance and development charges are extra. • Any new central or state government municipal and MGCL taxes, if applicable shall have to be borne by the clients. • Continuous default payment leads to cancellation. • Refund in case of cancellation will be made within 90 days from the date of booking of new client only. Administrative expenses & the amount of extra work (if any) & documentation charges (if any) will be deducted from refund amount. • The delivery schedule etc. will be maintained only if the work is to be done as per the standard plan & specifications. • Any plans specification or information in this brochure cannot form part of an offer, contract and agreement. • Architect / developer shall have the right to change or revise the scheme or any details herein without prior notice & any changes or revision will be binding to all. • Any balance or additional FSI at present or in future would be availed by the developer & no member would claim any right for the same. • In case of delay in water supply, light connection, drainage work by authority, developers will not be responsible. • All Dimensions are approximate (unfinished to unfinished).



SPECIFICATIONS

STRUCTURE:
Complete RCC frame structure as per the structural consultant's design

FLOORING:
Italian marble flooring in living room, Dining and kitchen, Vitrified tile flooring in all other rooms
Anti-skid ceramic tile for sit outs
River finish Granite in the entrance

WALL FINISH:
Interior: Mala Plaster on walls with Putty finish
Exterior: Weather proof exterior paint and tile cladding

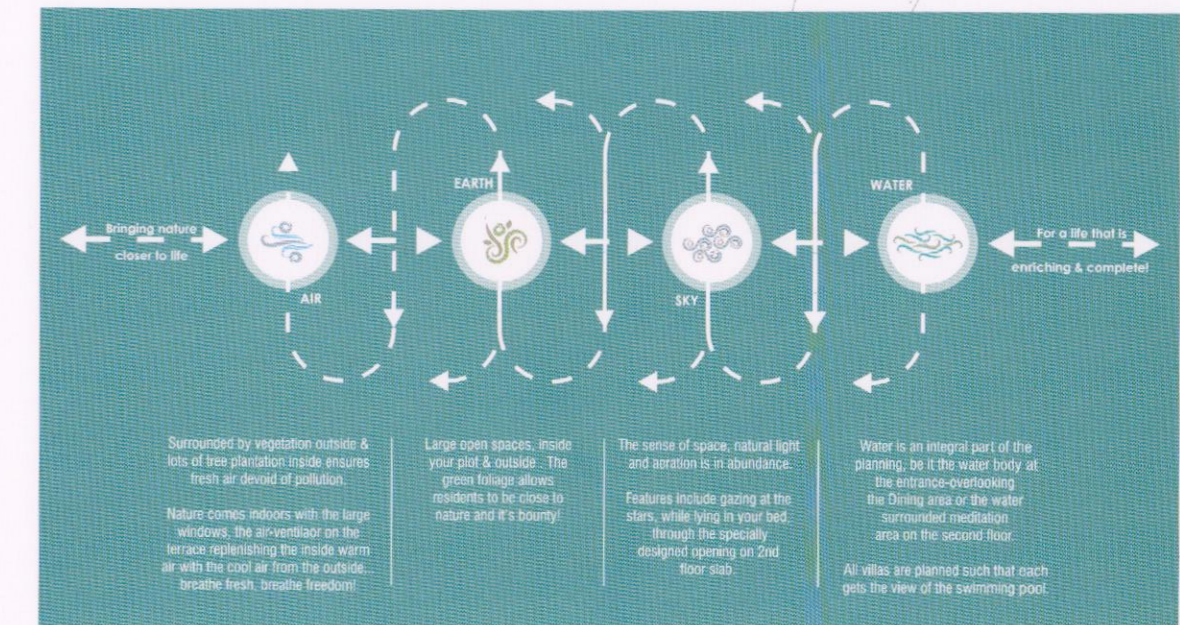
DOORS:
Decorative wooden main entrance door
laminated internal Flush doors with Laminate Finish
Granite frames in all bathroom and ventilators

KITCHEN:
Granite/Quartz kitchen platform with premium quality quartz sink
Designer tile dado up to lintel level
Kota stone flooring in Utility area

BATHROOMS:
Designer premium quality tiles floor and wall dado up to lintel level
Toto/Kohler or equivalent Vessels
Kohler or equivalent CP fittings

ELECTRICAL:
All electrical concealed ISI mark copper wiring
Legrand/schneider or equivalent modular switches
Electrical point for A.C. in all bedrooms and living room
TV and Telephone points provided in living room and all bedrooms

WINDOWS:
Fully glazed (Non reflective - single glass) anodized aluminium windows



LAYOUT PLAN



PLOT NO	AREA(sqft)
1	4174
2	7004
3	3967
4	5064
5	3693
6	3694
7	4555
8	4313
9	4336
10	5257
11	4196



GROUND FLOOR



SECOND FLOOR



FIRST FLOOR

