

Discover
Luxurious
Life-style.....



YOGI SHRUSHTI
HEIGHTS



2 & 3 BHK
LUXURIOUS FLATS





SPECIFICATION

Structure : Earthquake resistance RCC framed structure as per architect and structure design.

Walls & Colour: Inside – Superior plaster with paint. Outside – Double coat plaster with weather-proof exterior paint.

Flooring : Vitrified flooring in all rooms. Natural stone on staircase.

Doors : Elegant main door and all internal good quality flush doors.

Windows : Standard colour anodized aluminium windows with mosquito net. Natural stone frame.

General : Heat & Water proofing treatment on terrace.

Plumbing & Sanitary : Internal plumbing concealed with good quality CP / UPVC fittings. (Astral, Plumber of Equivalent) Provision for washing machine inlet.

Kitchen : Black granite kitchen platform with SS sink, good quality glazed tiles upto lintel level.

Bathroom : Glazed tiles, branded fittings with geyser points in bathroom.

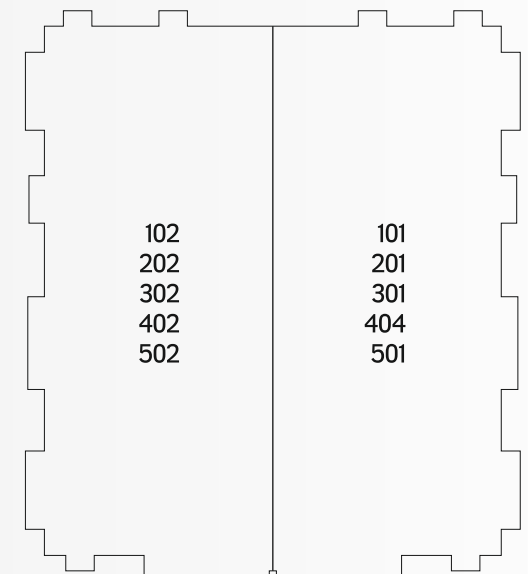
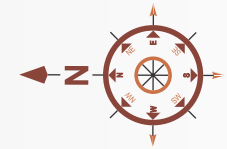
Electrification : Concealed ISI mark copper wiring with good quality modular switches and ample number points in the flat for AC & TV.



AMENITIES

- Well designed elevation.
- 24 hrs. water supply.
- Branded good quality lift.
- Anti-termite treatment.
- Decorative paving in Parking & Common Areas.

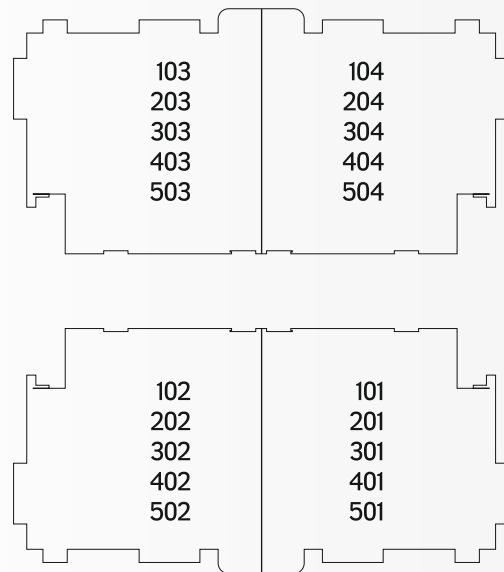
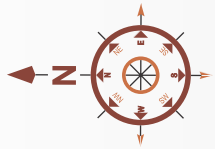
TYPE-A
3 BHK



Built Area : 1230.00 Sq.Ft.

TYPICAL FLOOR PLAN

TYPE-B
2 BHK



Built Area : 785.00 Sq.Ft.

TYPICAL FLOOR PLAN

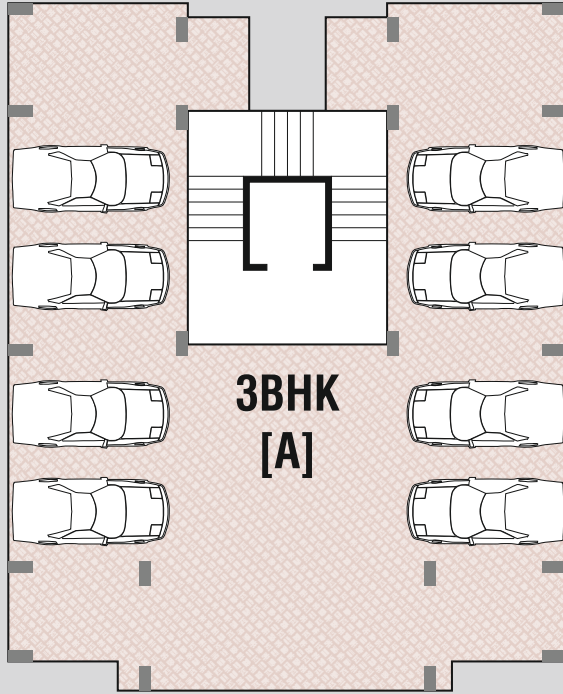




6.00 MT, R O A D

9.00 MT, R O A D

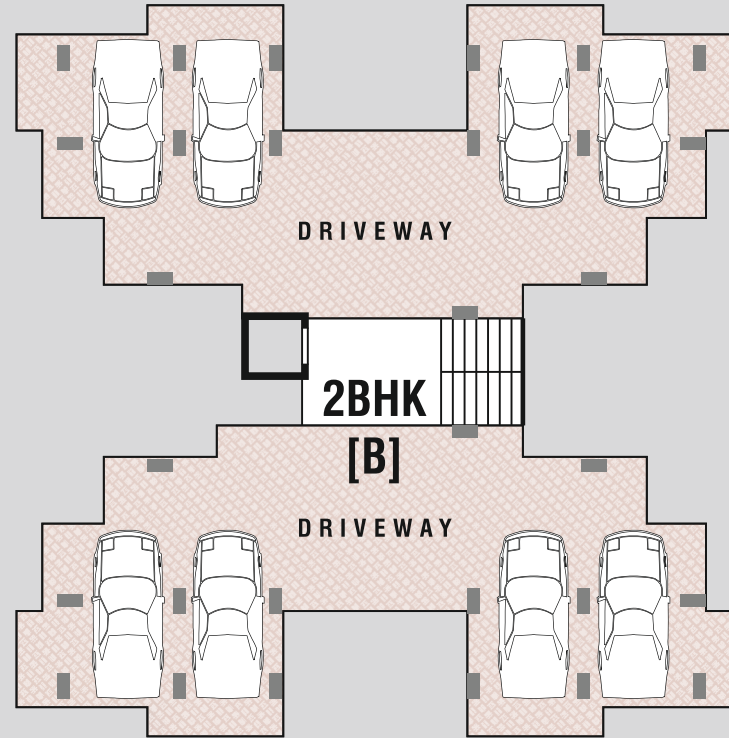
DRIVEWAY



**3BHK
[A]**

DRIVEWAY

DRIVEWAY



DRIVEWAY

**2BHK
[B]**

DRIVEWAY

ENTRY

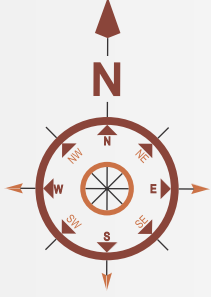


24.00 MT, R O A D



LAYOUT PLAN

LOCATION PLAN



Structural Consultant:
Associated Engineers
Nimit Bhavsar : 95742 22633

PAYMENT SCHEDULE : Booking Amount 20% | On Commencement of foundation 15% | On Commencement of 1st Roof Slab 10% | On Commencement of 2nd Roof Slab 10% | On Commencement of 3rd Roof Slab 10% | On Commencement of 4th Roof Slab 10% | On Commencement of 5th Roof Slab 10% | On Commencement of Internal Plaster and Flooring 10% | On offer of possession 5%

Terms & Conditions : • Any additional charges or duties by Government / Local authorities during or after the completion of the scheme will be borne by the Purchaser. • In case of delay in service by Government or Local Authorities, Developer will not be responsible. • Possession shall be given after 45 days of settlement of all accounts. • Charges / Alteration of any nature in the Elevation or any other changes affecting the overall design concept and outlook of the scheme are strictly NOT PERMITTED during or after the completion of the scheme. • Continuous default in payment will lead to cancellation. • Refund in case of cancellation will be made within 30 days of booking of new client. • Administrative expenses of Rs. 25,000/- and the amount of extra work (if any) shall be deducted from refund amount. • Terrace and FSI Rights will belong to Developers only. • This brochure is meant for easy presentation of project and should not be treated as a legal document, offer or contract.



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