

# Aashrith

3 BHK LUXURIOUS APARTMENT

*we  
Create  
your world*



# Aashrith



*A multi-faceted Terrace with a Landscape Garden adorn with Gazebo and ornamental water body that will calm your mood on a tiring day. And a space that will welcome your festivities and parties in the most Lavish way.*



# AMENITIES & FEATURES



MULTIPURPOSE  
HALL



AUTOMATIC  
ELEVATORS



ALLOTTED  
CAR PARKING



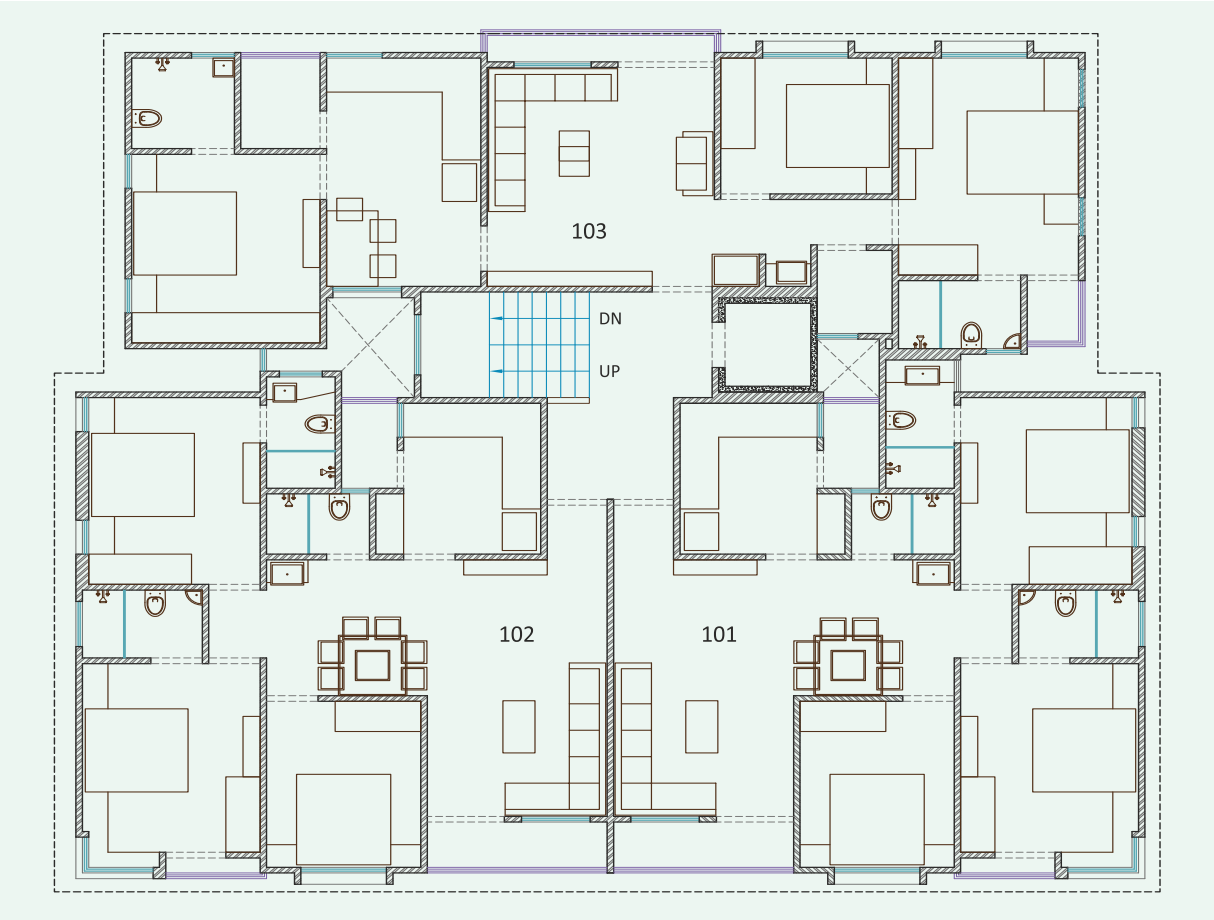
CCTV  
CAMERAS



24 HRS.  
POWER BACKUP\*

- Enhanced fresh air ventilation. 75% day lighting
- Intercom facility for additional safety and security
- Underground and over head water tank
- LED luminaries to reduce building maintenance cost
- Dedicated electrical point in parking for vehicle charging
- Rainwater harvesting - ground water recharge provision through recharge bore
- Water supply for daily use from Municipal water connection, in addition to one common bore-well provided as back up.

# TYPICAL FLOOR PLAN





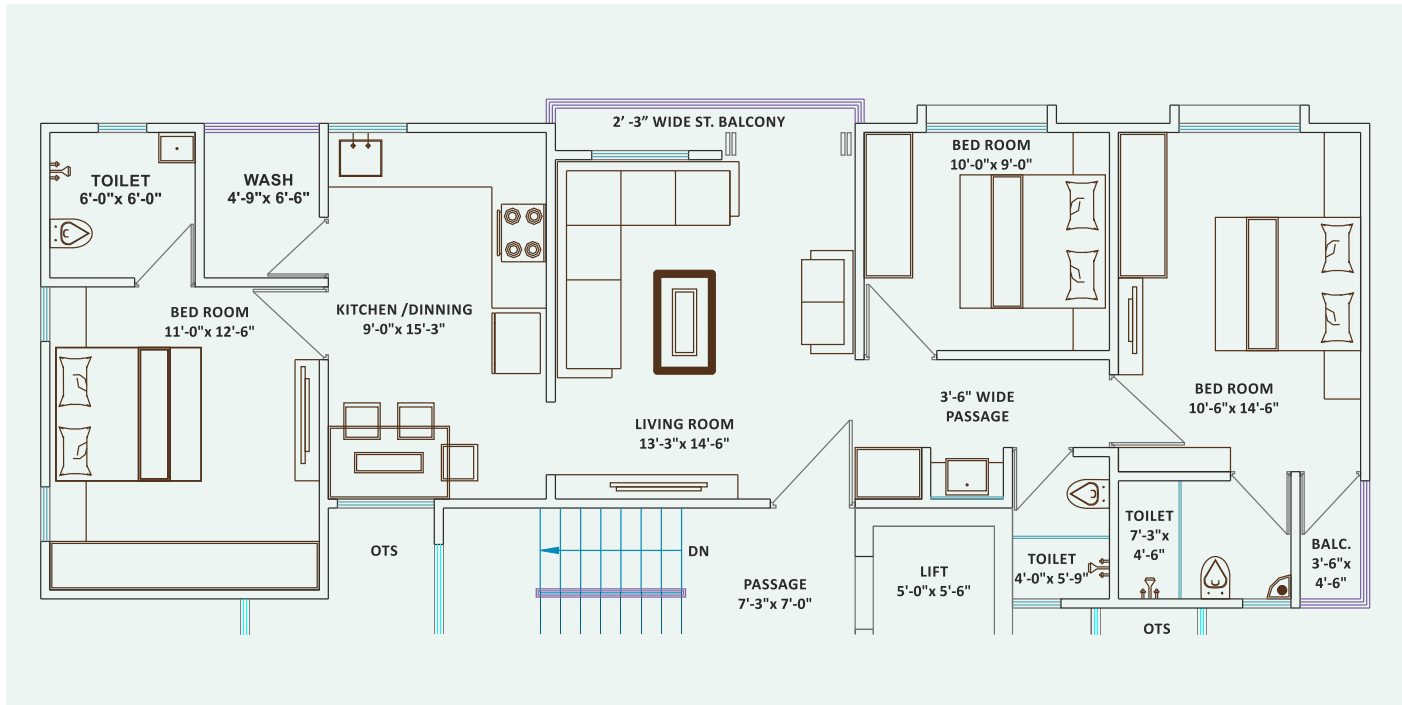
# CUT SECTION



\*Plan details will supersede cut section details in case of variation.

# FLOOR PLAN

SBA - 1520 sq.ft.





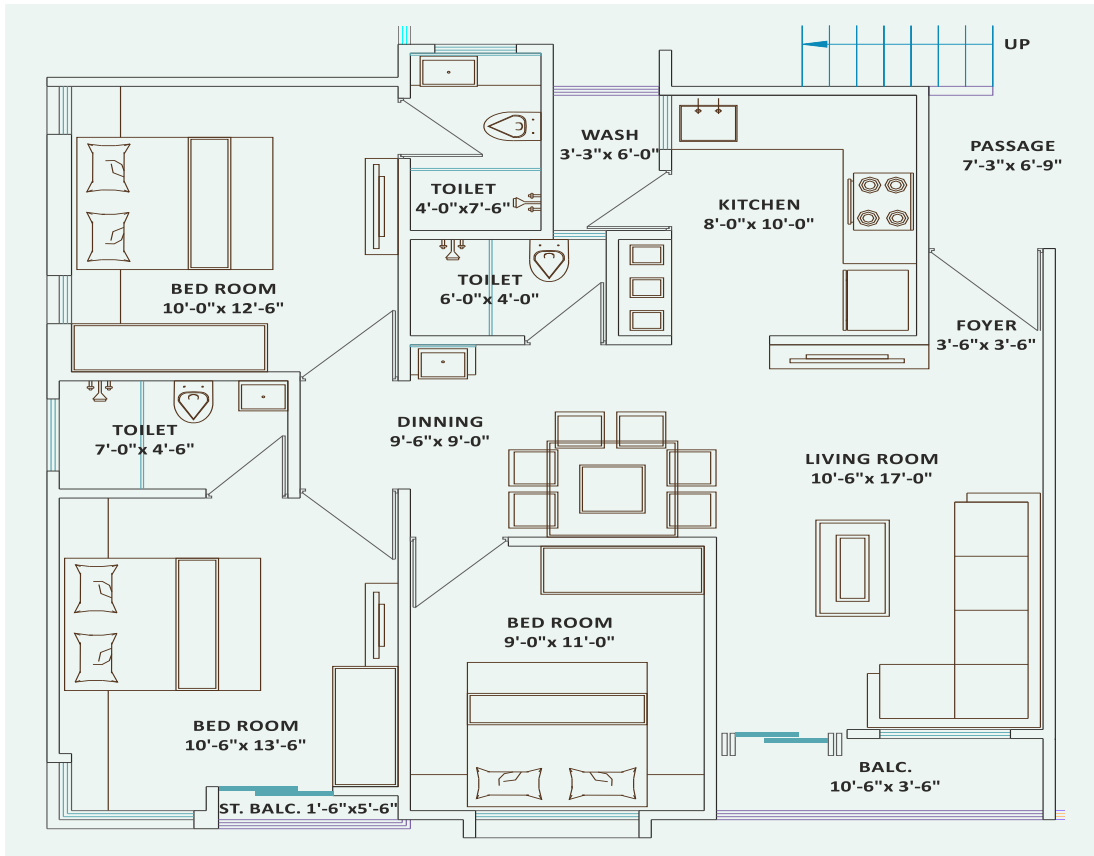
# CUT SECTION



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# FLOOR PLAN

SBA - 1450 sq.ft.



# SPECIFICATIONS

## **Superior quality infrastructure**

Earthquake resistant structural design.

All elevations, exterior colours and materials architecturally controlled.

11 Feet Slab to Slab Height.

Terrace finished with designer China Mosaic/Ceramic Tile flooring with appropriate grouting or landscaping as applicable.

Staircase railing, window grills, parapet walls and balconies etc. has designed keeping your children's safety on priority.

## **Exteriors**

Plantation and lots of greenery on or along the compound wall.

Exterior feature to comprise up elegant exterior light fittings, name plates and letter boxes.

Good quality paver blocks in parking areas.

## **Spectacular Interiors**

Good Quality colour / anodized aluminum windows for rich and elegant elevations.

Fine quality vitrified tiles.

Main door with night latch and decorative handles.

Optimized planning and use of space gives you an apartment with spacious area.

## **Designer Kitchens**

Spacious, well planned and user friendly kitchen.

Partitions free kitchen platform suitable for any Indian or Imported modular kitchen interior.

Granite platform with stainless steel sink.

## **Luxurious Bathrooms**

All bathrooms to be concept designed finished.

All plumbing fixtures and faucets shall be branded and good quality.

Geyser, exhaust and light points in all bathrooms.

## **Electrical**

Standard electric point with good quality modular switches.

AC points in living and all bedrooms.



#### **PAYMENT SCHEDULE:**

1) Booking amount (within 30 days) - 30%. 2) Parking Slab - 15%. 3) At each slab upto 4th floor - 10%. 4) Plaster - 10%. 5) Flooring and Finishing - 5%.

#### **NOTES:**

- 1) All plans, information, brands and specification are subject to change, as may be required by the promoters or architects, without any prior notice.
- 2) Stamp Duty, Service Tax, Registration Charges and Government Taxes shall be extra as actual.
- 3) Possession will be given after one month of settlement of all accounts.
- 4) In case of delay in water supply, light connection, drainage work by authority, developer will not be responsible.
- 5) Refund (excludes tax, administration expense and extra work, if any), in case of cancellation will be made within 30 days from the date of booking by a new client of the same unit.
- 6) Terrace rights retain by the developer.
- 7) All visuals shown in the brochure are indicative. They are artist representation and are subject to change.
- 8) This brochure is not a legal document and cannot form part of any offer, contract or legal agreement. Sale will be as per our standard terms and conditions.
- 9) All members shall have to essentially be the part of the society formed by the association members and shall have to abide by the society laws.
- 10) Subject to Vadodara Jurisdiction.
- 11) All rights are reserved with URBANAC INFRA.