

developers :
BHUMI DEVELOPERS

architects :
ART & ARCHITECTURE ASSOCIATES

structural engineers :
YOGINIPUN ASSOCIATES

the avenue of better living

PREET
AVENUE
3 bhk luxuriuos apartment



- 34 LUXURIOUS APARTMENTS • 6 LUXURIOUS TERRACE APARTMENTS
- LARGE CENTRAL GREEN SPACE • CLUB HOUSE • GYMNASIUM

site : behind jai ambe vidhyalaya, sama-savli road, vadodara. kindly contact : 97264 52230 e : preetavenue@gmail.com

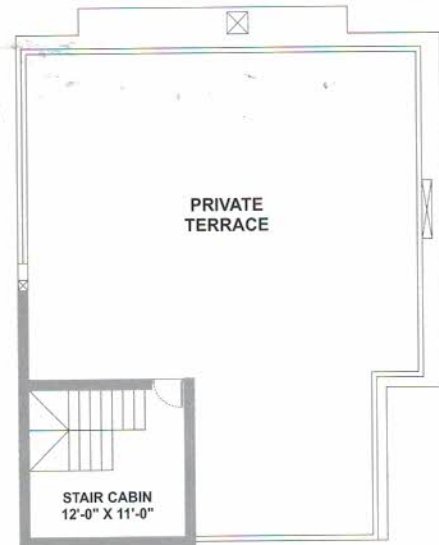
3 bhk apartments

Block A & B



3 bhk terrace apartments

UPPER LEVEL



LOWER LEVEL



SPECIFICATIONS

structure
RCC frame structure with minimum columns to provide adequate parking space.

external finishes
double coat plaster combined with sand face plaster with high quality paint finish.

internal finishes
smooth plaster with cement based putty without paint

flooring
full floor with vitrified tiles

kitchen
mirror polished granite platform with rustic tile up to slab finish level

electrification
concealed three phase electrification with ISI copper wires, cables and modular switches adequate points for ac, phone, computer and TV with MCBs and ELCBs

parking finishes
combination of pavit tiles with RCC floor.

internal shutters
flush doors with wood alike laminate finish

external shutters
full opening aluminum sliding shutters

AMENITIES

- spacious and luxurious club house
- children's play park
- old age sit out area
- reserved parking spaces
- guest parking areas
- modern glazed gymnasium with indoor multipurpose hall

SPECIAL PLANNING FEATURES

- location on 30 mts & 12mts road intersection
- 150 mts of open space along with canal
- large landscape area in the center of the development
- adequate light and ventilation for all units

SERVICES

- 24 hrs secured gated campus
- 24 hours water supply from borewell
- 8 persons high quality elevator
- individually R.O. water purifying system
- anti-termite treatment

layout plan



VHMR@94278 07073

Notes : 1) Possession will be given after one month of settlement of all accounts. 2) Extra work will be executed after receipt of full advance payment. 3) Documentation charges, stamp duty, service tax & comm maintenance charges will be extra. 4) Any new Central or State Government Taxes, if applicable shall have to be borne by the clients. 5) Extra work shall be executed after making full payment. 6) Continuous default payments leads to cancellation. 7) Architect/Developers shall have the right to change or raise the scheme or any details herein and any change or revision will be binding to all. 8) In case of delay water supply, MGVCCL connection, drainage work by authority, developers will not be responsible. 9) Refund in case of cancellation will be made within 30 days from the date of booking of new client only. 10) Administrative expense of 10% & the amount of extra work (if any) will be deducted from refund amount. 11) The delivery schedule etc. will be maintained only if the work is done as per the sample. 12) Any plan specifications in this brochure can not from part of offer, contract or agreement and legal documents. 13) Subject to Vadodara jurisdiction.

PAYMENT SCHEDULE : • 25% on Booking • 10% Plinth level • 10% 1st slab level • 10% 2nd slab level • 10% 3rd slab level • 10% 4th slab level • 10% 5th slab level • 10% Plaster level • 5% Before possession