



Blue's
Springfield
FEEL OF LUXURY

3 BHK Duplex Bungalow





A(A1) TYPE Typical Floor Plan

TYPE A1 (CARPET AREA)		
	SQ.MT	SQ.FT
GROUND FLOOR	53.00	570
FIRST FLOOR	51.71	556
TOTAL	104.71	1126
VARANDAH & BALCONY		97



GROUND FLOOR PLAN

Plot Area: A type-933 sq.ft
 Built up Area: 693 sq.ft
 Plot Area: A1 type-1001 sq.ft
 Built up Area: 760 sq.ft



TYPE A (CARPET AREA)		
	SQ.MT	SQ.FT
GROUND FLOOR	47.35	509
FIRST FLOOR	47.70	513
TOTAL	95.05	1022
VARANDAH & BALCONY		97

TYPE A A1



FIRST FLOOR PLAN

Built up Area: 644 sq.ft
(691 sq.ft)





TYPE B Typical Floor Plan

TYPE B (CARPET AREA)		
	SQ.MT	SQ.FT
GROUND FLOOR	38.76	417
FIRST FLOOR	37.31	401
TOTAL	76.07	818
VARANDAH & BALCONY		11

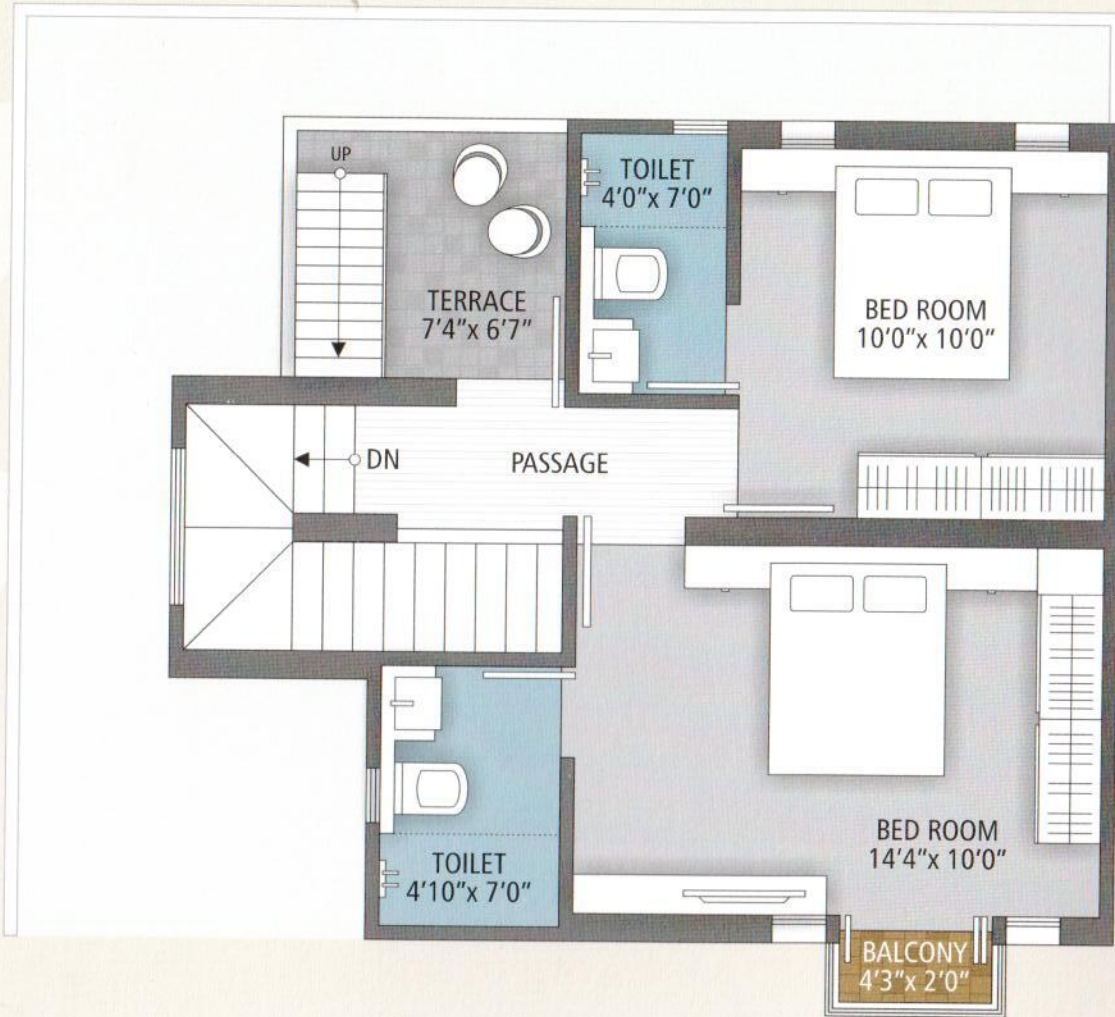


GROUND FLOOR PLAN

Plot Area: 764 sq.ft.
Built up Area: 526 sq.ft.



TYPE B



FIRST FLOOR PLAN

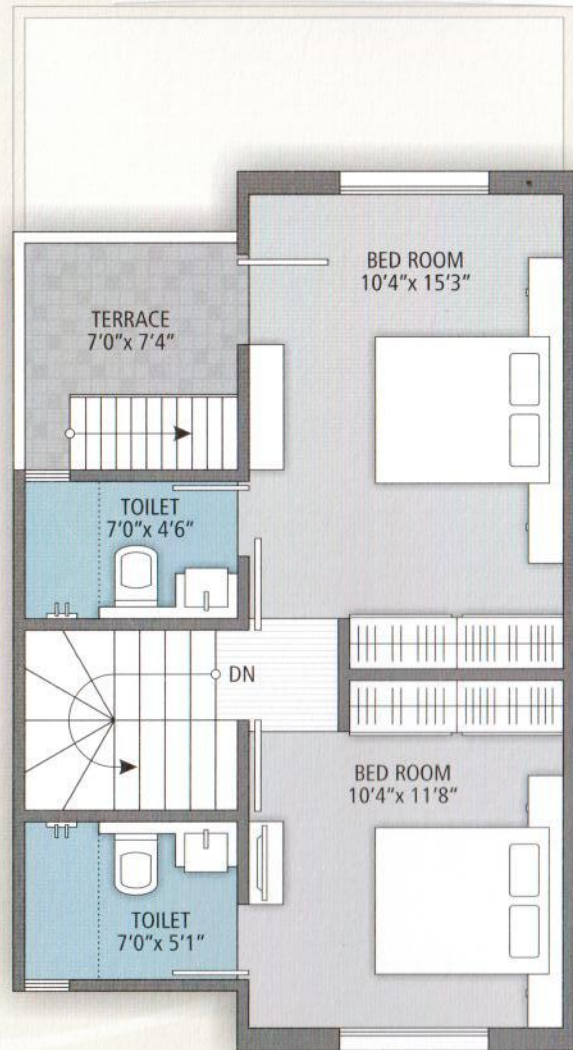
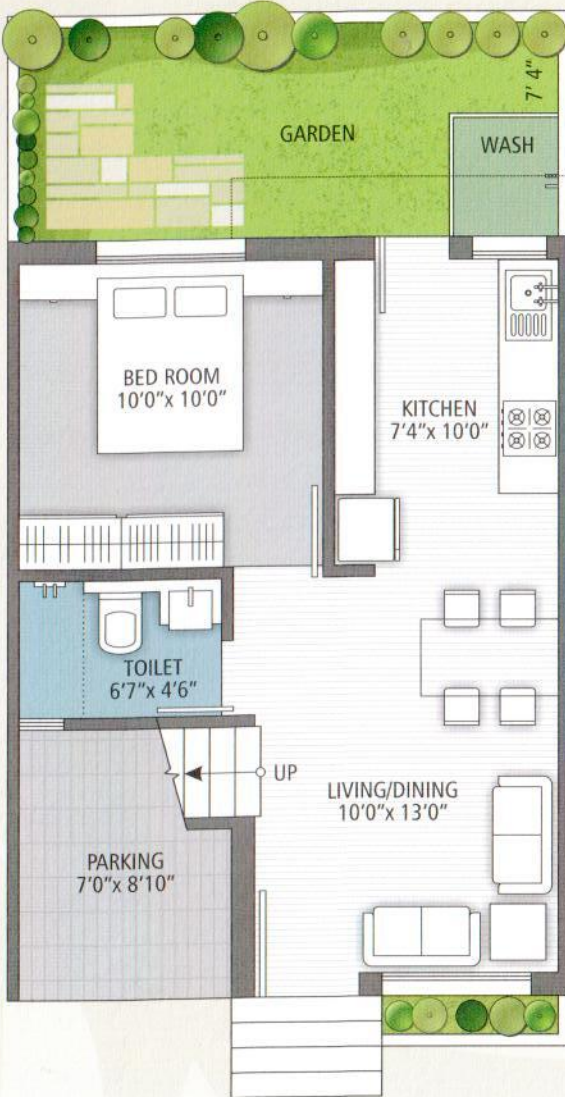
Built up Area: 471 sq.ft.





TYPE C Typical Floor Plan

TYPE C (CARPET AREA)		
	SQ.MT	SQ.FT
GROUND FLOOR	30.93	332.8
FIRST FLOOR	32.05	344.85
TOTAL	62.98	677.65
VARANDAH & BALCONY		0



35.56
31.50
157.32
120.55

344.95
32.05





BENCHMARK AMENITIES

Structure

- Earthquake resisting composite structure with Pile foundation.

Wall Finish

- Internal mala plaster and External sand faced plaster.

Terrace

- IPS - Water proofing.

Doors/ Windows

- Elegant main door & Internal flush door. Fully glazed Aluminum window with Grill.

Flooring

- Vitrified / Porcelino tile flooring.

Toilets

- Designer bathrooms with standard quality Vessels.

Plumbing

- Concealed plumbing with Jaquar brand fittings.

Kitchen

- Granite platform with standard quality S.S. Sink. Tile dado up to lintel level.

Electrification

- Concealed wiring with Standard make modular switches.

Paint

- Standard make Putty on interior wall and Acrylic paint on external surface.

Other

- Anti-termite treatment as per IS standard.



NOTE:

- Possession will be given after one month of settlement of all accounts
- Documentation charges, stamp duty, registration and common maintenance charges will be extra.
- Any Direct/indirect central and state government taxes (service tax, municipal tax, MGVCL deposits etc.), if applicable shall be born by the client/member.
- Developer reserves the rights to change the specification/design at any stage of work (development) without prior notice to members & such changes are binding to all the members.
- Interest at 24% per annum shall be applied on delayed payments.
- In case of cancellation of booking, administrative expense of Rs. 25,000.00 and amount of extra work (if any) will be deducted from the refund amount. Refund will be made within 90 days from the date of new booking.
- Any plans, specifications, or information in this brochure is not a part of an offer, contract or agreement.
- This brochure does not form a part of an agreement or any legal document, it is just for presentation & information only.
- Club house and other amenities inside the premises are for use by members and developers only.
- Other terms and conditions are applicable.

Location



SITE: '**Springfield**'
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