

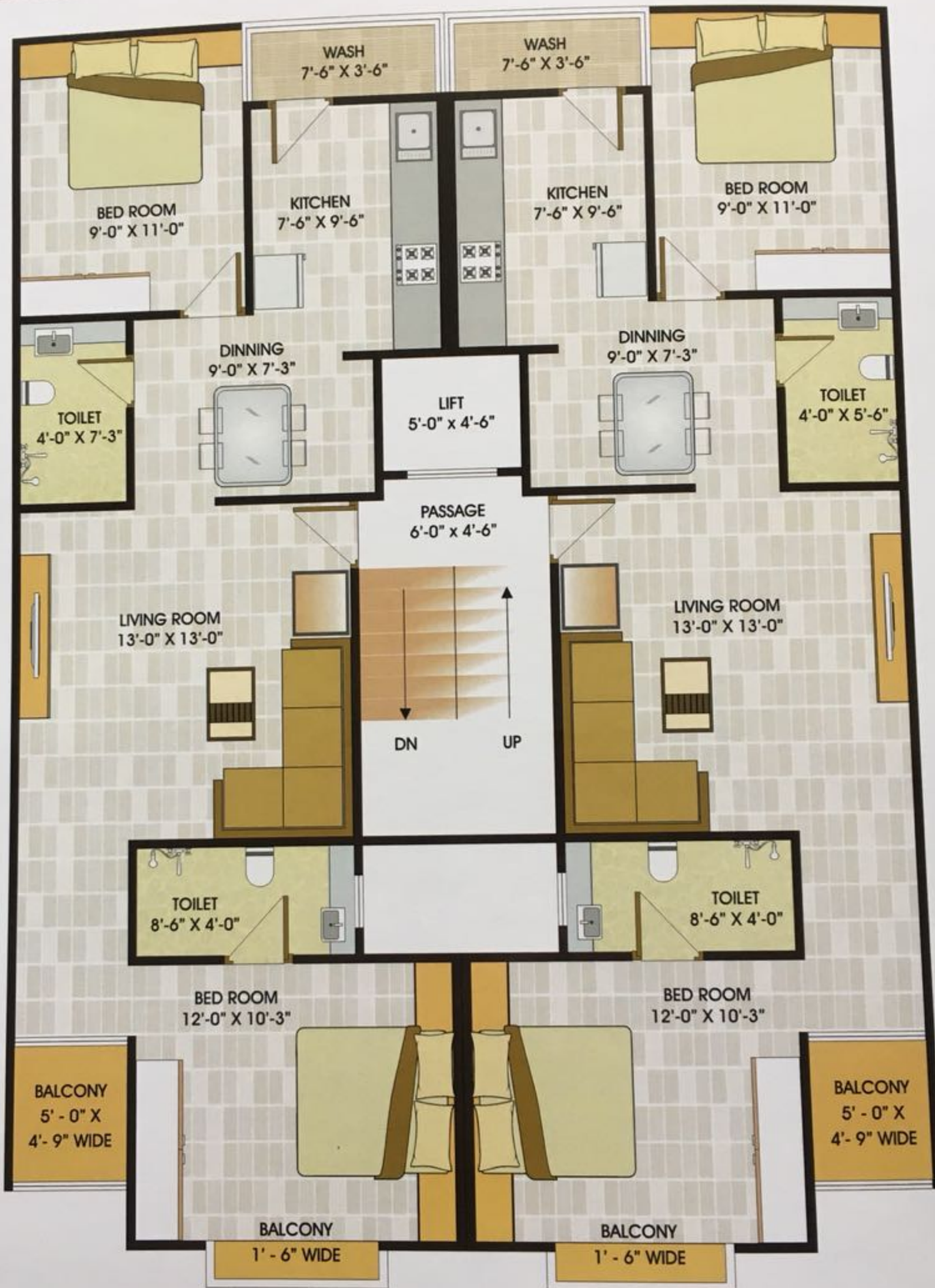


# HAIDERY APARTMENT

2 BHK LUXURIOUS FLATS



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PLOT AREA = 2602.7 SQ. FT.  
 B.UP AREA = 749.8 SQ. FT. (PER UNIT)  
 B.UP AREA = 1649.9 SQ. FT. (PER FLOOR)


TYPICAL FLOOR PLAN




## SPECIFICATIONS

**Structure:**  Earthquake resistant RCC frame structure as per structure engineer design.

**Kitchen:**  Black Granite Counter with SS Sink and Ceramic tile dedo upto Lintel level above Granite Counter.


**Painting:**  External walls be finished with weather coat paints. All MS railings will be painted with synthetic enamel paints, all internal walls ceilings will be finished with two coats of white cement based putty.


**Window:**  Anodized aluminum windows with heavy section.


**Bathrooms:**  Anti skid ceramic tiles flooring with premium quality sanitary and cp fittings, Designer tiles on walls up to lintel level.


**Doors:**  Standard Flush doors with Both side designer laminate and Godrej locks for all doors.


**Plaster:**  Internal smooth plaster, Outside double coat plaster

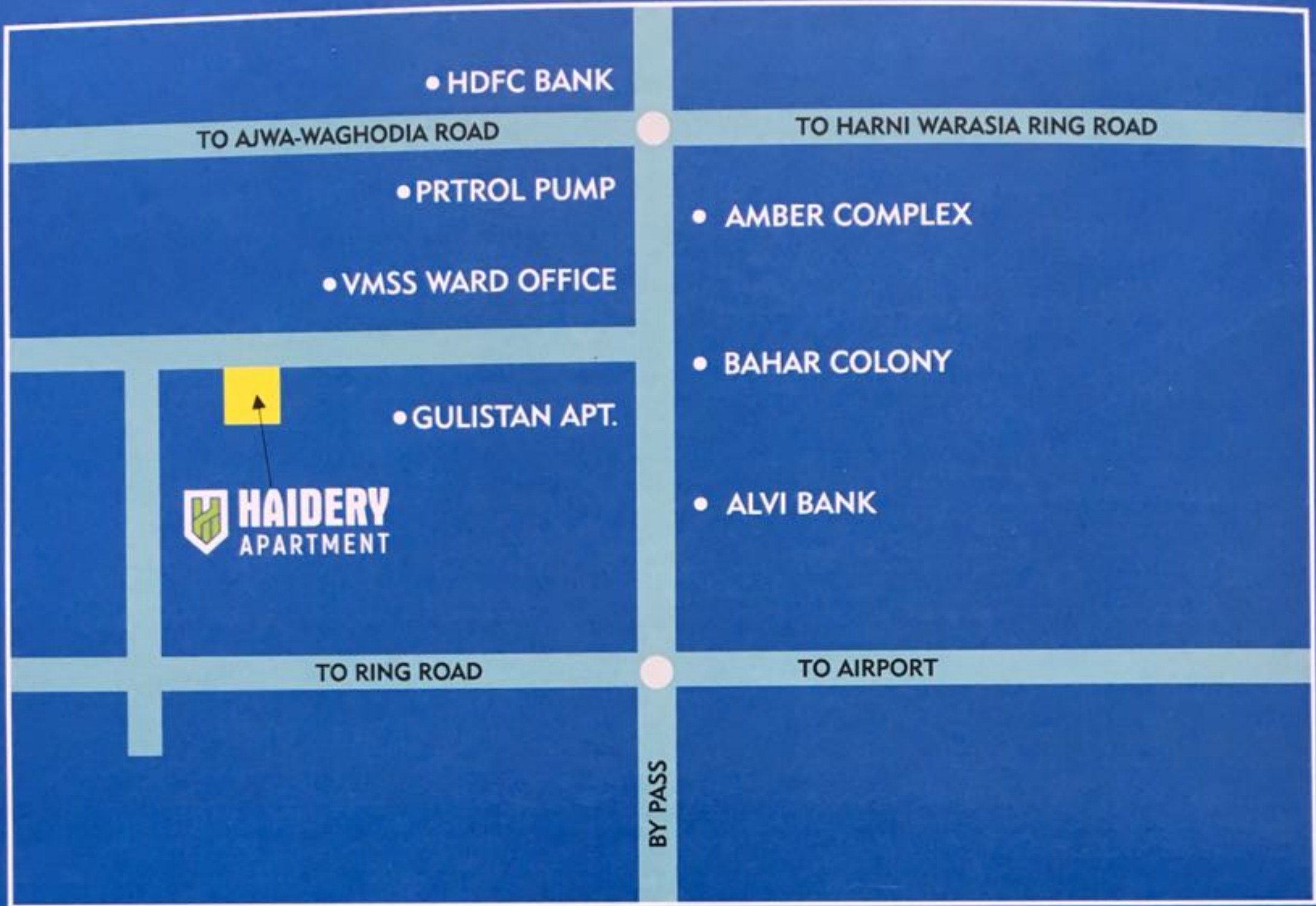
**Electricity:**  Concealed copper wiring with good quality switches sufficient electrical point in kitchen and all rooms.

**Water Supply:**  Uninterrupted 24 hours water supply for automatic pumps through bore well.

**Flooring:**  Vitrified tiles flooring in all rooms, Wash area flooring in kotastone.

**Plumbing:**  Systematic wall concealed U-PVC Plumbing ISI mark branded fittings.

**Parking & Common Road:**  Flooring finished with paver Block Chequered tiles.



**DISCLAIMER:**

Documentation Charges, Stamp Duty, Municipal Taxes, Service Tax, GST, GEB Meter Deposit etc, Shall be extra. • The developer reserve the right to make any addition, alterations & amendments as may be necessitated from time to time in layout & building plan. • Possession shall be given after one month of the settlement of all account. • Extra work shall be carried out after making full payment in advance. • All members shall have to essentially be the part of the society formed by the Association of Members & it shall abide by the society by laws. • Terrace rights will be bound to developers only. • Incase of cancellation of booking, 20% of the amount will be retained by us and rest of the amount, after the booking (Sale) of thesame flat. • This brochure shall not be treated as a legal document it is only for the purpose of information.

**A PROJECT BY :  
VADIA DEVELOPERS  
SITE ADDRESS**

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Opp. Bahar Colony , Rampark,  
Ajwa road , Vadodara.

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**STRUCTURE CONSULTANT**  
VINUBHAI PATEL

**PAYMENT CONDITION**

At the Time of Booking	= 10%
After Signing Banakhat	= 20%
Completion of All Slabs	= 25%
Completion Of Elevation & Fitting Work	= 05%
Completion of Sanitary Fittings, Liftwell Finishing	= 25%
Completion Of Electrical Work & Miscellaneous Items	= 10%
At the time of Possation	= 05%

Design & Construction by  
**THINK TANK** - 90990 47789

Payment Schedule : 25% Booking, 20% Plinth level, 20% Slab level, 15% Brick work, 15% Plaster level, 5% Finishing