

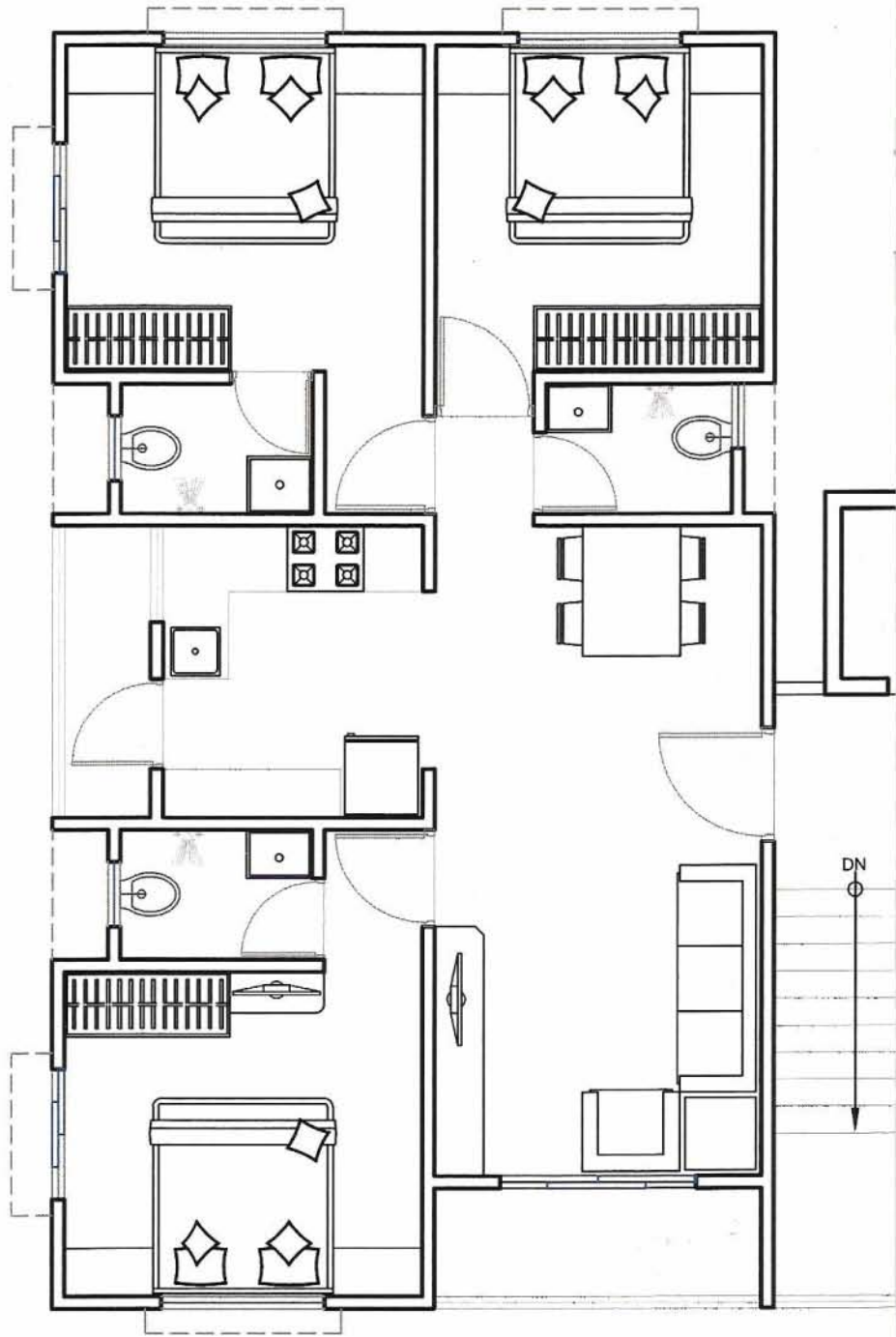
HARI OM  
*Elegance*



3 BHK  
PREMIUM APARTMENTS

Project By  
HARI OM INFRA

# Typical Floor Plan



NORTH

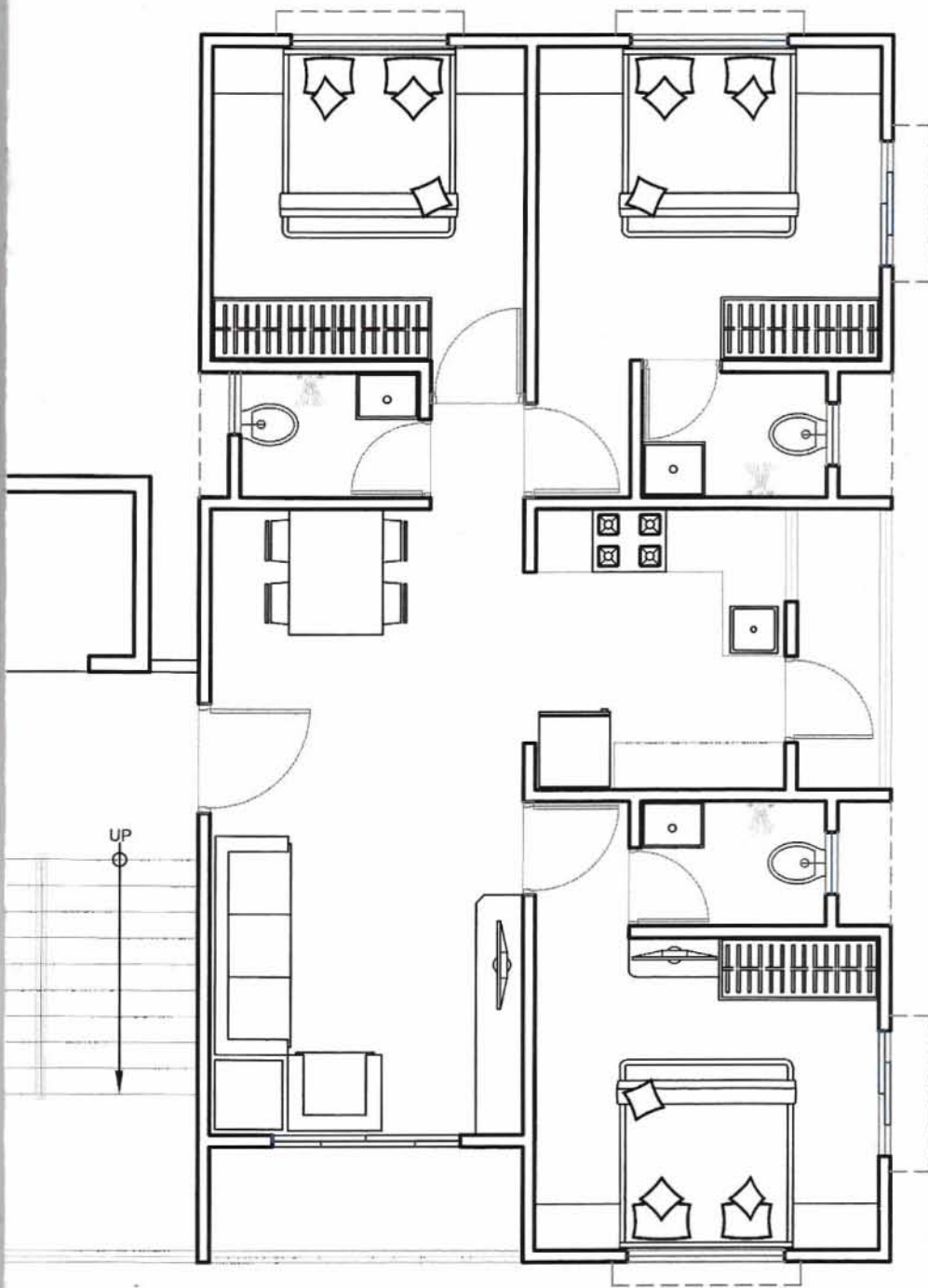
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12.00 MT. W I D

## AMENITIES

- Secured Campus
- Security Cabin
- C.C.T.V
- Allotted Parking
- Lift

- Well Developed Foyer Area
- Open Space with Beautiful Terrace Garden
- Terrace Gazebo.



## E T . P . ROAD

### SPECIFICATIONS

#### STRUCTURE

- Earthquake Rest. Rcc. Structure as per Structural Design

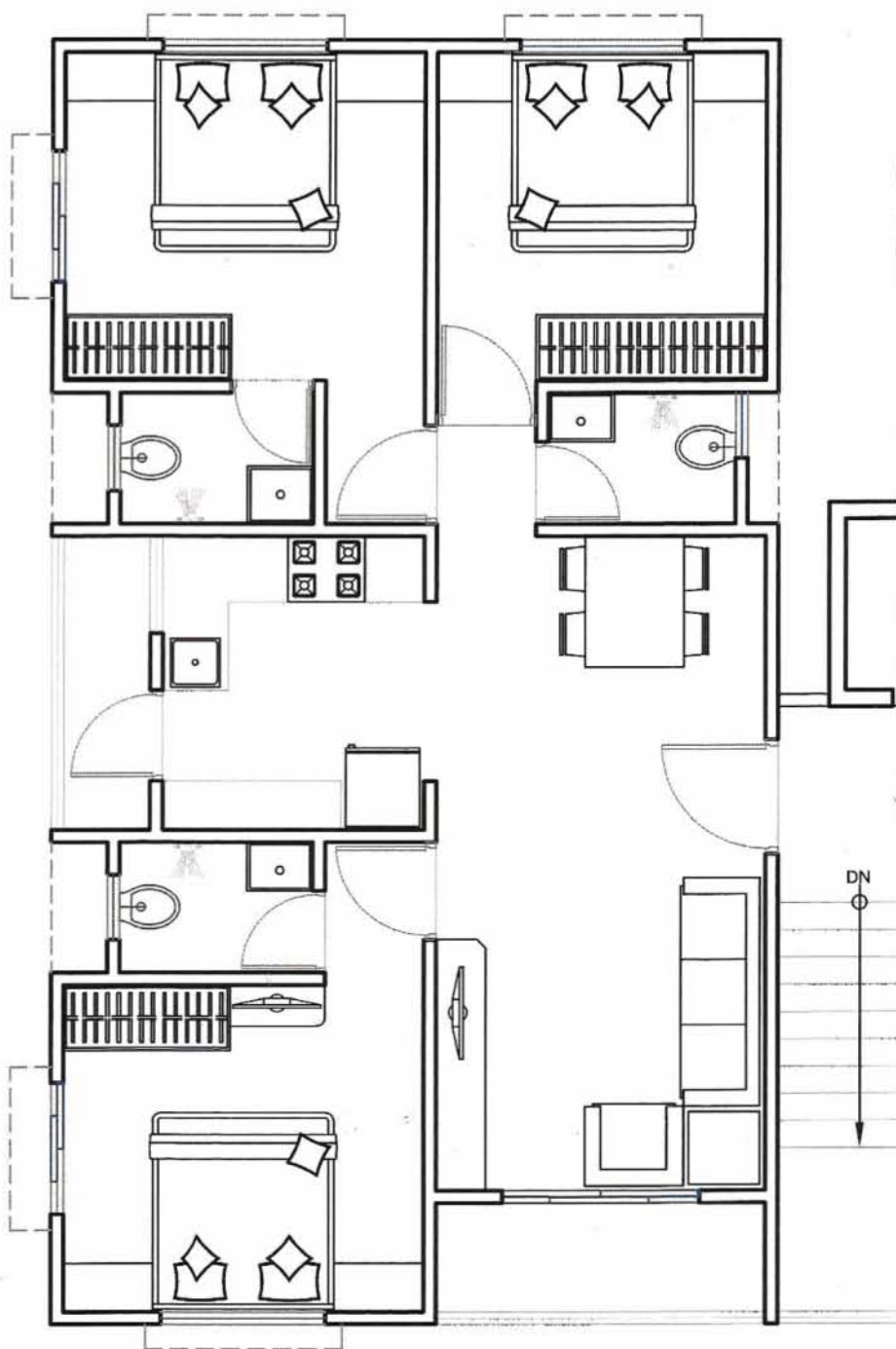
#### FLOORING

- Vitrified Tiles
- Kota stone In Wash Area (floor)

#### WALL FINISH

- Interior Smooth Plaster with Putty Primer.
- Exterior Double Coat Plaster With Weather Proof Quality Paint

1. BED ROOM - 3.36 x 3.07
2. A. TOILET - 1.80 X 1.20
3. WASH AREA - 0.90
4. KITCHEN - 2.44 X 2.75
5. A. TOILET - 1.80 X 1.20
6. BED ROOM - 3.36 x 3.07
7. BALCONY - 3.07 X 1.20
8. LIVING/DINING - 3.07 X 6.14
9. BED ROOM - 3.07 X 3.07
10. C. TOILET - 1.63 X 1.20



**NORTH**

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**12.00 MT. WIDE T.P. ROAD**

RERA CARPET AREA 72.20 SQ. MT.

## KITCHEN

- Granite Platform in Kitchen
- S.S Sink
- Tiles up to Lintel.

## ELECTRICAL

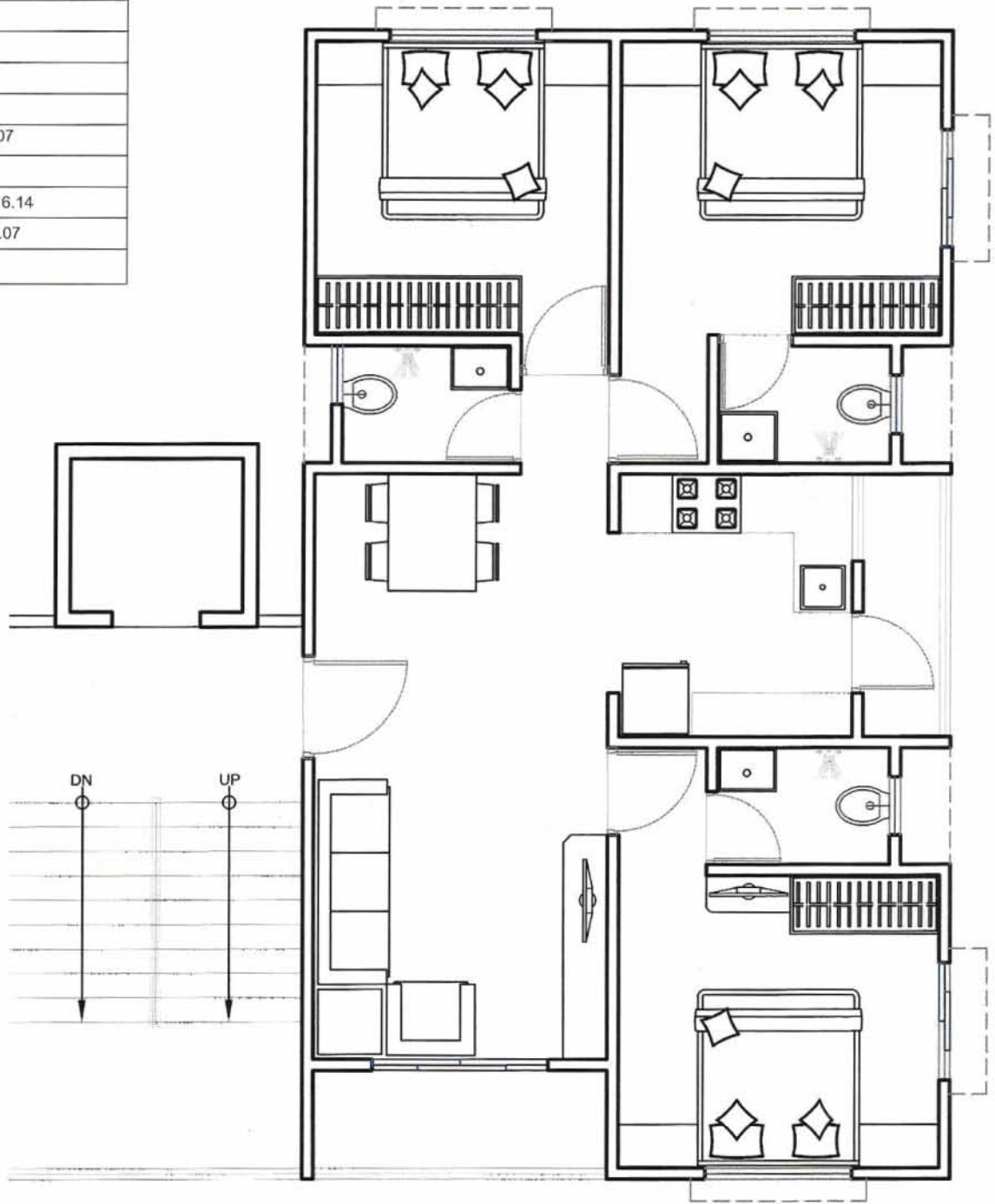
- Concealed Wiring.
- Switches As per ISI Std.
- Domestic Points in Kitchen.
- MCB
- Geyser Point in All attached Bathrooms.
- T.V & Telephone Points in Living Area.
- A.C. pt. In Living Area & Bedroom



## **Others**

- Common underground and Overhead Water tank
- 24X7 Water Supply
- Water Proofing On Terrace.
- Separate Meter Room
- DVR System
- Bombay-Delhi Express Corridor (4 Km.)
- In Corporation Limits

- |                                |
|--------------------------------|
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**12.00 MT. W I D E T . P . R O A D**

RERA CARPET AREA 72.20 SQ. MT.

**NORTH**

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## DOORS & WINDOWS

- Main Door with Both Side Laminations
- Bedroom Door with Stone Frame
- Wash Area & Toilet Doors
- Main Door & Bedroom Doors with Safety Locks.
- Windows Powder Coated

## BATHROOMS

- Sanitaryware
- Wall Tiles up To Lintel Level

# **SPECIFICATION**

**Internal Wall 4"**

**Smooth Plaster With Putty**

**Vitrified Tiles 2'\*2'**

**Green / Black Granite**

**Concealed Wiring I.S.I. Std.**

**Safe & Secure Switches As Per I.S.I. Std.**

**1 T. V. Point.**

**1 Microwave Point**

**1 Refrigeration Point**

**1 Geyser Point (common)**

**1 Telephone Point**

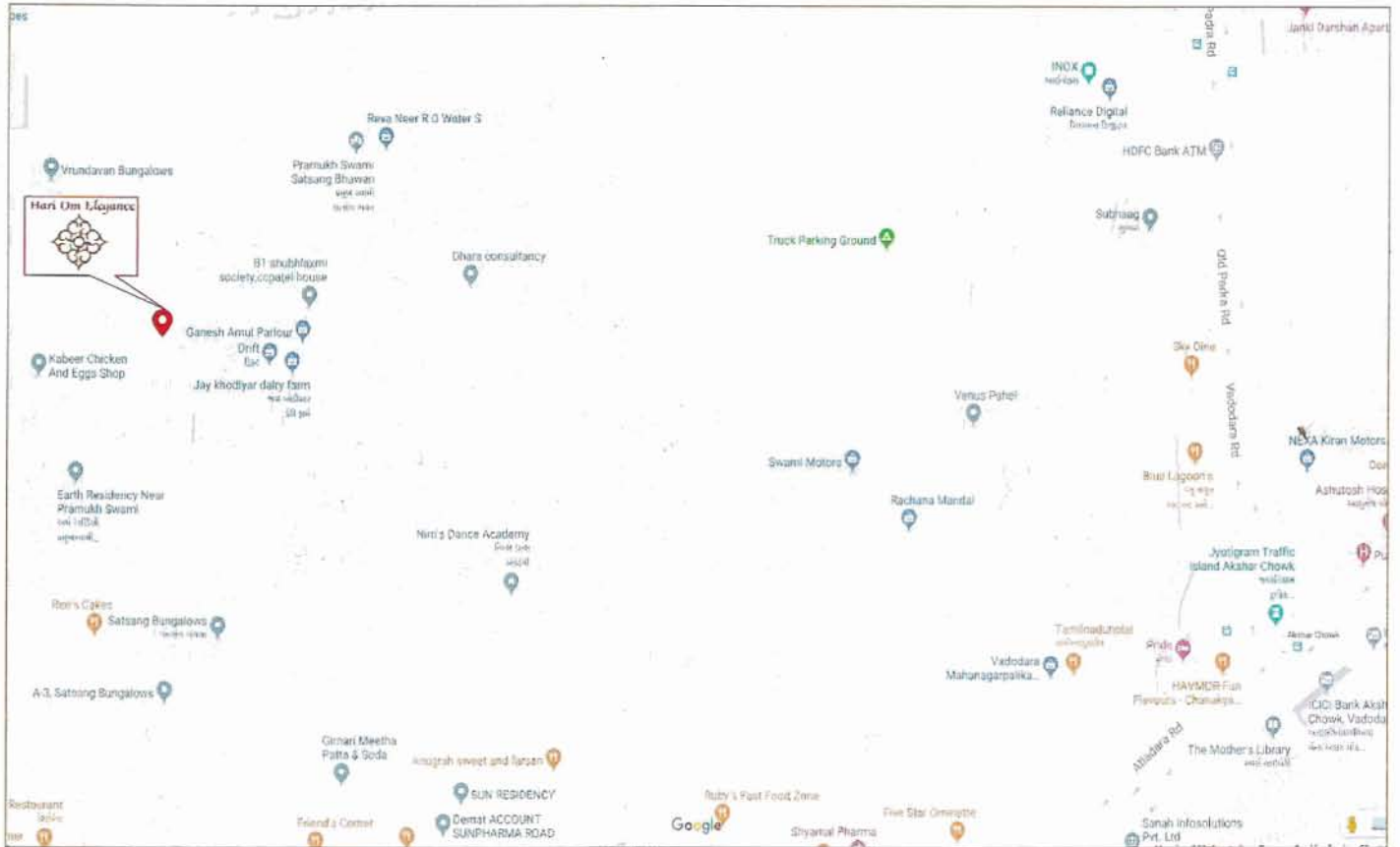
**M. C. B. I.S.I. Grade**

**Flat Entrance Gate With Both Side Lamination**

**Main Door With Safety Lock**

**Sanitaryware Cera or Equivalent Brand**

**Fire Safety.**



**NORTH**

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### Address

Vrundavan Soc., Plot No. 10, Opp. Mathura Nagari, Near Reliance Mall,  
Off O.P. Road, Vadodara, Gujarat

**Contact us :**

**9712981050, 8758899014, 8320955983**

**Architect - Chirag Shah & Associates**

**Structure - Zarna Associates**

#### Notes :

- 1) Possession Will Be Given after One Month of settlement of all accounts.
- 2) Documentation charges, Development Charges, Stamp Duty, MGVL & VMSS Charges, GST, Legal Charges & Common Maintenance Charges Will be Paid by the purchaser.
- 3) Any new Central or State Government Taxes, if applicable shall have to be borne by the purchaser.
- 4) Extra work shall be executed after making full Payment.
- 5) Continuous default payments leads to cancellation.
- 6) Developers shall Have the right to change the plan, elevation, specification or rise the scheme or any details here in will be binding to all.
- 7) In Case of delay in water supply, light connection, drainage work by authority, developers will not be responsible.
- 8) Refund in case of cancellation will be made within 30 days from the date of booking of same unit by a new client. In case of cancellation of booking 10% of the booking amount plus extra work ( if done ) will be deducted from the booking amount.
- 9) Any plans, Specifications or information in this brochure can not form part of an offer, contract or agreement.
- 10) This Brochure does not contain any legal part as per RERA.
- 11) Subject to Vadodara Jurisdiction Only