

Key Plan



Developers:
Heaven Developers

Site: Plot-C, Krishna Dham Society,
Near Pratham Cross Road,
ISKON Temple Road, Vadodra

Contact:
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98250 29806

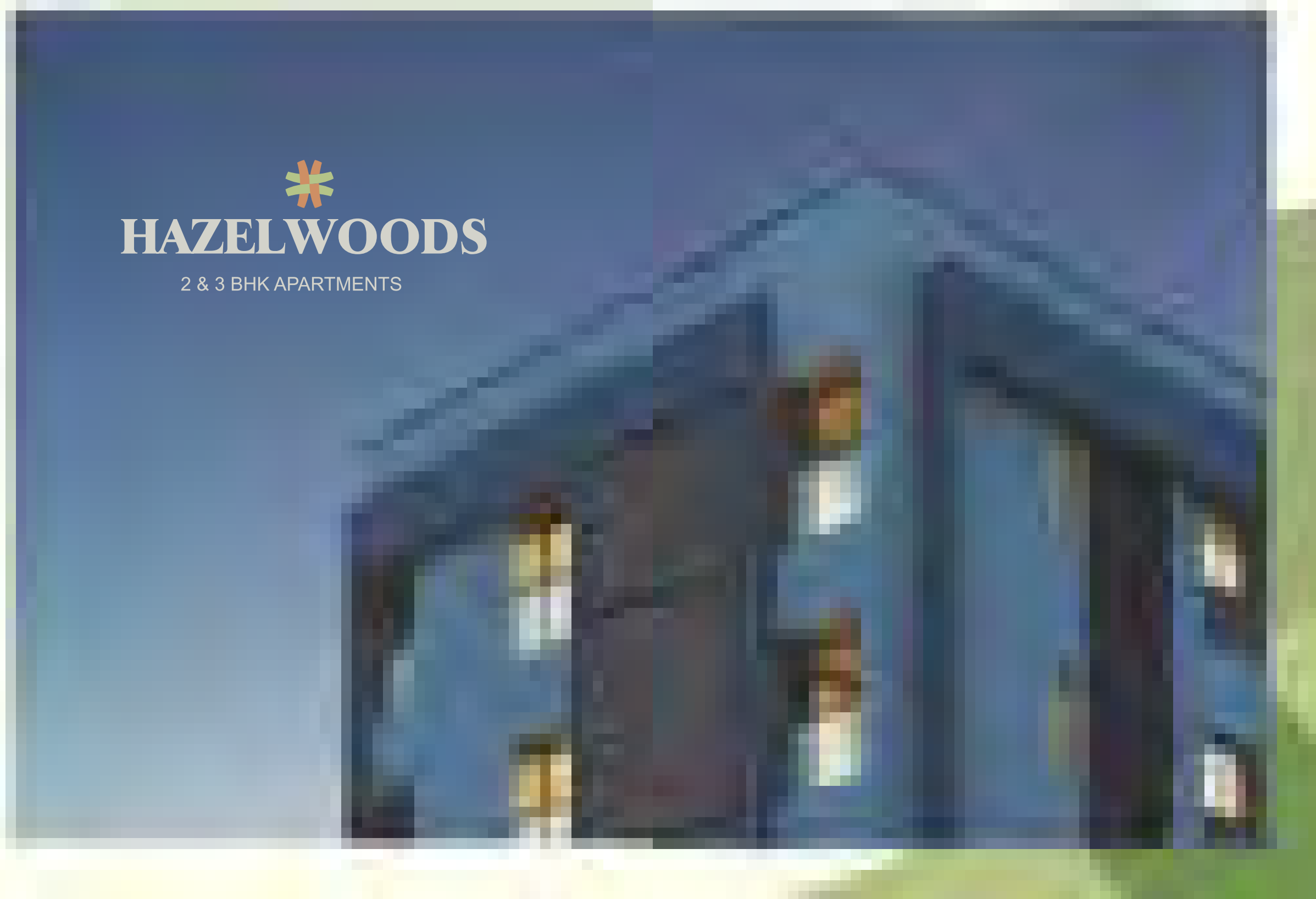
Architect:
Darshan Bulsara, Paradigm Atelier
Manoj Lakhia (Corporation)

Structural Consultant:
Ami Consulting Engineering

Payment Schedule
As per RERA.

Notes: • Possession will be given after one month of settlement of all accounts. • Development charges, documentation charges, stamp duty, service tax, MGCL connection charges, & common maintenance charges will be extra. • Any new central / state government taxes, if applicable shall have to be borne by the clients. • Extra work shall be executed only after making full payment in advance. • Continues default in payment leads to cancellation. • Developers shall have the right to change the plan, elevation, specifications or any details, which shall be binding to all. • In case of delay in water supply, light connection, drainage work by authority, the developers will not be responsible. • Refund in case of cancellation will be made within 30 days from the date of booking of same unit by a new client, administrative charges of Rs. 20,000/- and the amount of extra work (if any) will be deducted from refund amount. • Terrace rights, future FSI rights will be exclusively be with the developers only. • Any plans, specification or information in this brochure cannot form part of an offer a contract or an agreement. • External elevation change are strictly not allowed.

design:arnold.dumais@skd.com 02/2019





Parking Plan



Specifications

Structure: Earth quake resistant RCC frame structure and Brick Masonry as per structural Engineer's design

Painting: Internal – Acrylic Emulsion paint
External – ACE external emulsion paint

Flooring: Vitrified tiles flooring in all rooms

Doors: Decorative laminated main door and all internal flush doors, PVC door for Bath and WC.

Windows: Aluminium section windows.

Kitchen: Granite platform with S.S. Sink and glazed tiles dado upto lintel level.

Toilets: Anti skid Vitrified tiles flooring with 5 ft. height glazed tiles dado in Bathroom and WC.

Plumbing: Concealed UPVC plumbing lines with ISI brand CP fittings.

Electrification: Concealed copper wiring with sufficient points including AC point in bedroom, Geyser point in bathroom and fridge point in kitchen.

Amenities



- Decorative compound gate
- Standard quality 5 passengers lift
- Letterbox & name plate
- Fully glazed underground and overhead tanks for 24 hour water supply with sensor
- Power Backup for common areas
- Ample Car Parking
- Landscaped Society Garden

Typical Floor Plan

