

# ईशावस्यम्

A Project By:



**SITE ADDRESS :**

B/H KARMA LIFESTYLE, NR MADHUVAN PALACE, OPP HANUMANJI TEMPLE, BESIDES HARNI LAKE, HARNI, VADODARA

**CONTACT NO : 9898201816 | 9909018031**

**MAIL ID : sharnamlandspace@gmail.com**

**MODE OF PAYMENT**

10% ON BOOKING | 30% SALE DEED | 45% PLINTH LEVEL | 70% RCC STRUCTURE | 75% COMPLETION OF MASONRY, PLASTER, FLOORING, WINDOWS, AND DOORS | 80% COMPLETION OF EXTERNAL WALL PLASTER, ELEVATION, AND PLUMBING | 85% COMPLETION OF SANITARY FITTINGS, STAIRS, LIFT WALL, FLOOR, LOBBY, ETC | 95% COMPLETION OF WATER PUMP, ELECTRICAL FITTINGS, ENTRANCE LOBBY, PAVEMENT AREA, ETC | 100% BEFORE DOCUMENTING THE SALE OF THE PROPERTY, AND 1 MONTH BEFORE HANDING OVER POSSESSION

**DISCLAIMER:**

The information contained in this brochure is subject to change as may be approved by the competent authorities and cannot form part of any form or contract. All plans are subject to any amendments approved by the competent authorities. This brochure shall not be treated as a legal document; it is only for the purpose of information. The areas are inactive only. The measurements indicated in the plan may vary at the time of construction. All landscaping is conceptual and shall be as per the architect's design. Illustrations in this brochure are artist impressions and serve only to give an approximate idea of the project. While every reasonable care has been taken in providing this information, the developers cannot be held responsible for any inaccuracy. The developer's reserve all the rights to make any changes as may be necessitated from time to time in the layout, building plan, and specifications without any prior notice. Such changes would be binding to all members.

DEVELOPER ARCHITECT STRUCTURE



NITIN SIDDHPURA



**4B2HK 3-SIDE OPEN**

PREMIUM BUNGALOWS



“

**PEERLESSNESS**  
*AT IT'S MODEST.*

*Glorified homes that are accessible to limited persons. Opt for a comfortable living at **Ishavashyam** for Luxurious homes with modern amenities.*

”

12 MT ROAD

12 MT ROAD

INTERNAL ROAD 7.50 M

12 MT ROAD

COMMON PLOT

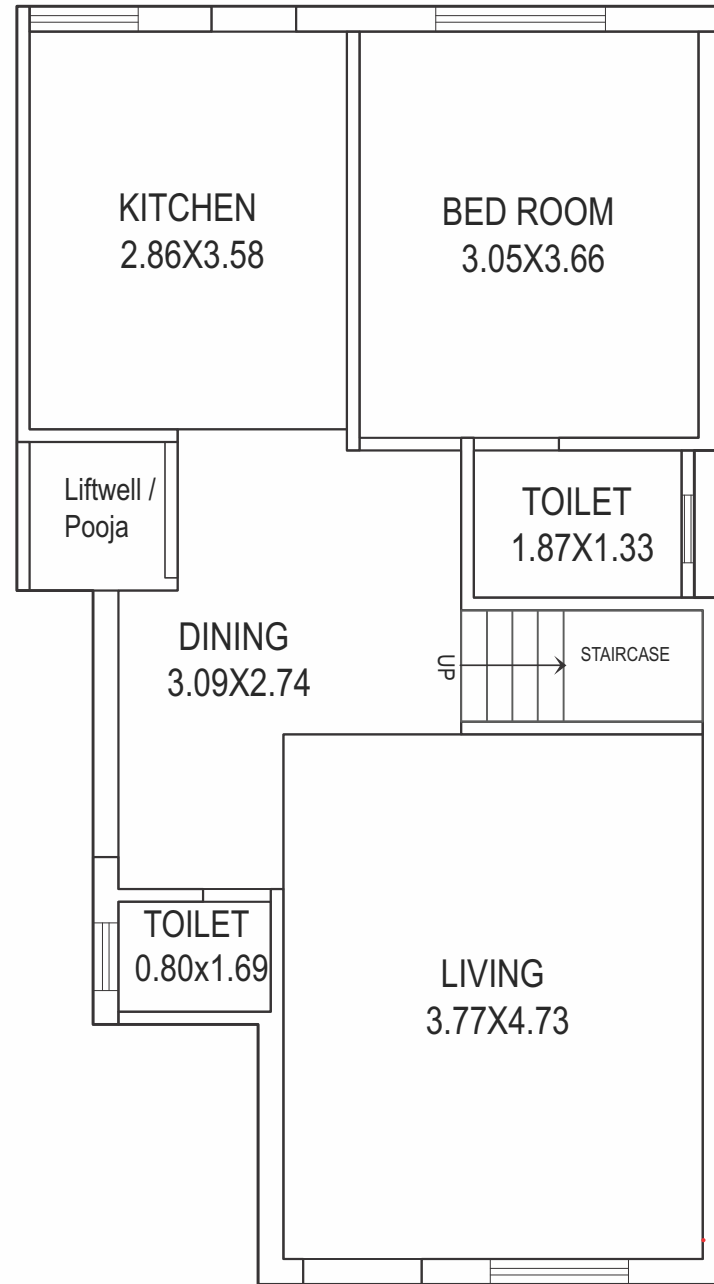
Area : 379.78

# LAYOUT PLAN

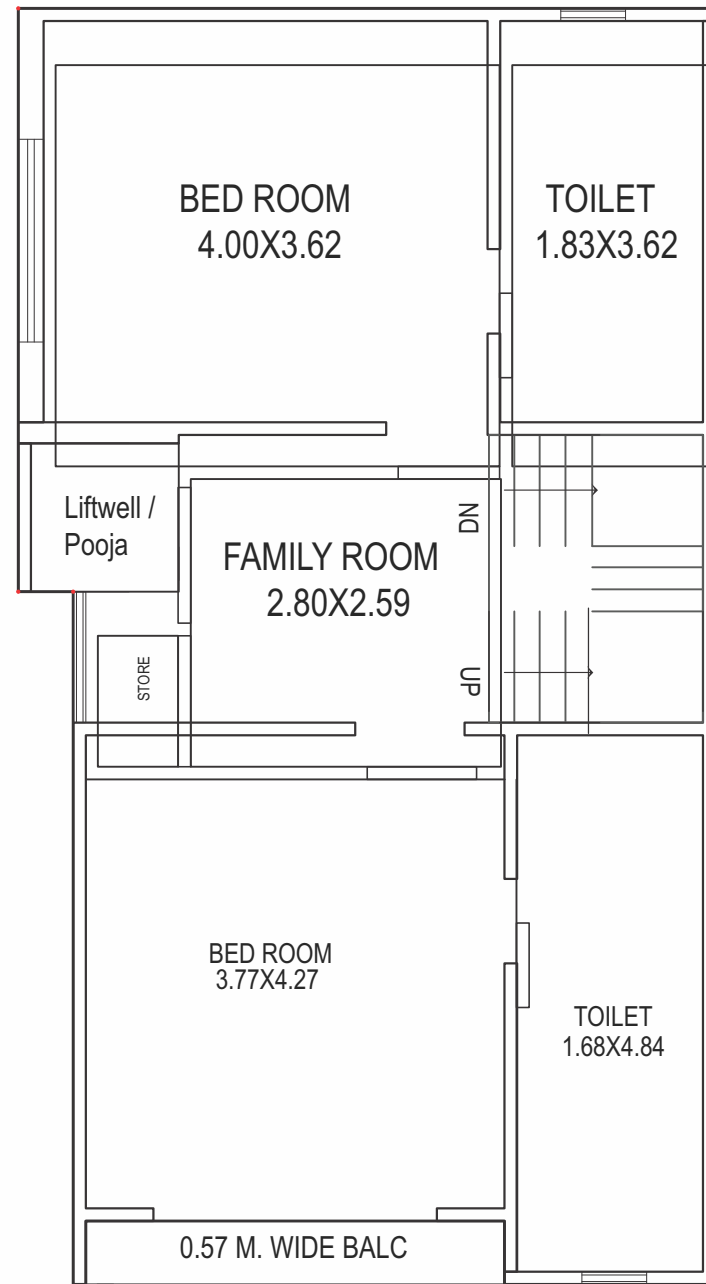
PLOT NO.	PLOT AREA
1 (TYPE-B1)	116.26
2 (TYPE-B3)	101.98
3 (TYPE-B)	102.87
4 (TYPE-B2)	103.76
5 (TYPE-B)	104.65
6 (TYPE-B2)	105.53
7 (TYPE-B)	106.42
8 (TYPE-B2)	118.49
9 (TYPE-B)	118.28
10 (TYPE-B)	102.23
11 (TYPE-B2)	102.23
12 (TYPE-B)	102.23
13 (TYPE-B2)	102.23
14 (TYPE-B)	102.23
15 (TYPE-B4)	124.45
16 (TYPE-A4)	134.96
17 (TYPE-A1)	116.58
18 (TYPE-A)	115.27
19 (TYPE-A1)	113.96
20 (TYPE-A2)	112.65
21 (TYPE-A3)	111.34
22 (TYPE-A2)	109.89
23 (TYPE-A3)	111.52
24 (TYPE-A1)	112.02
25 (TYPE-A)	109.13

AREA IN SQ.MT.

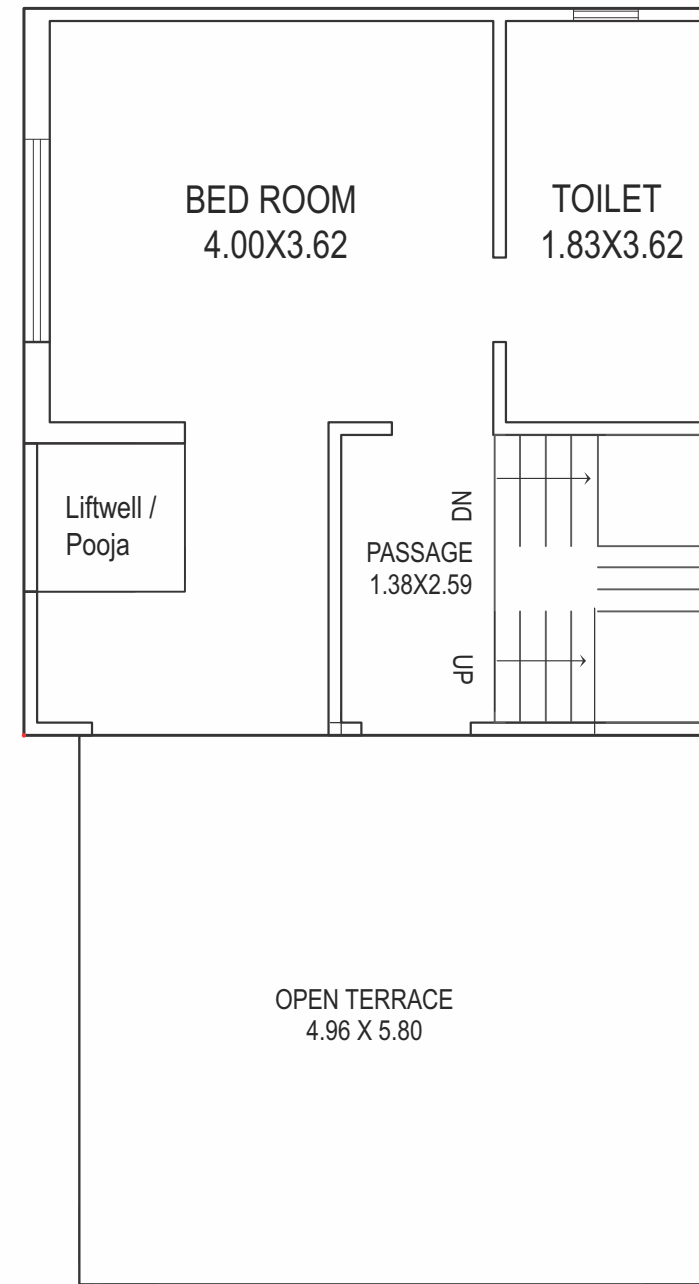
# TYPE-A (18,25)



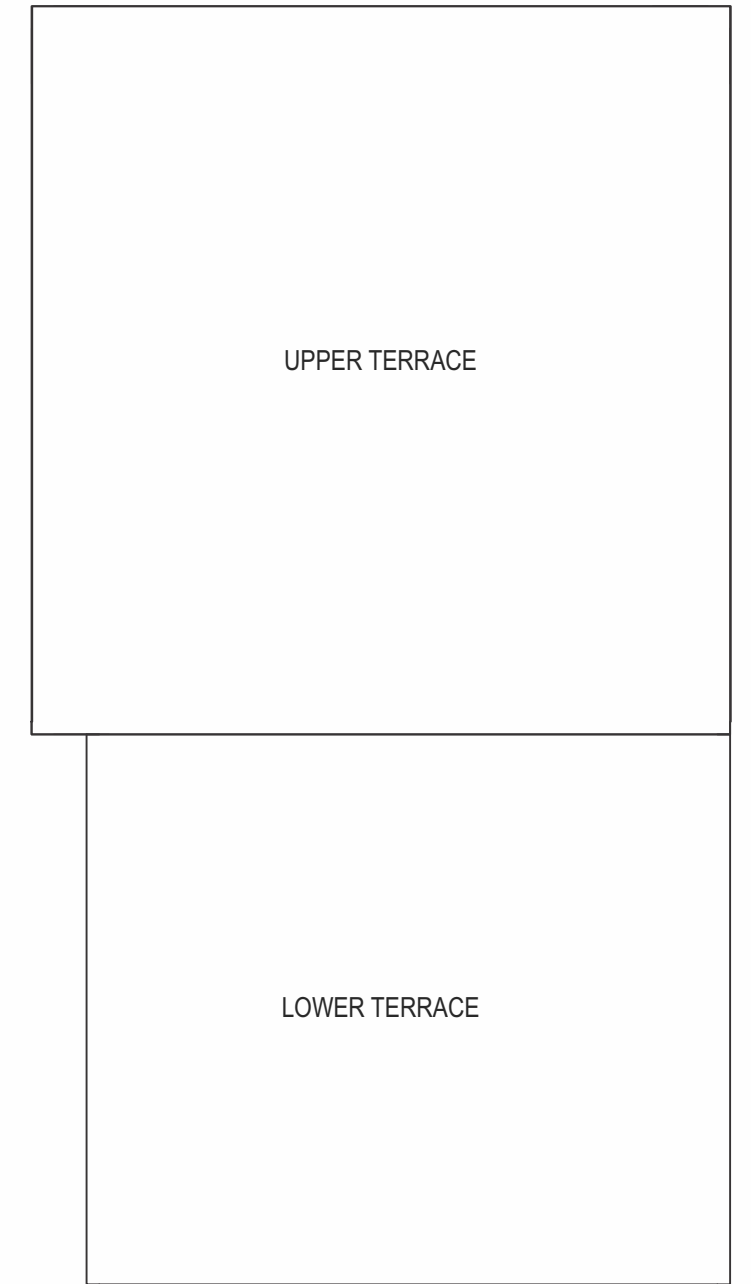
GROUND FLOOR PLAN



FIRST FLOOR PLAN

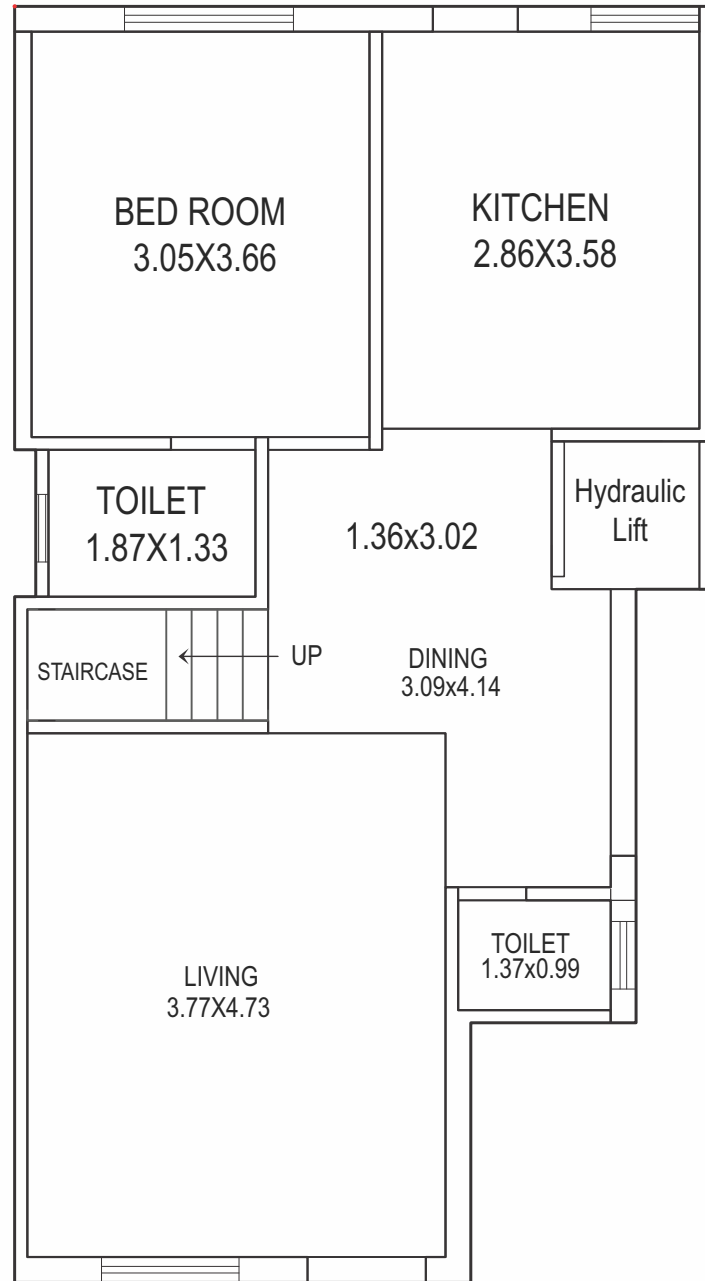


SECOND FLOOR PLAN

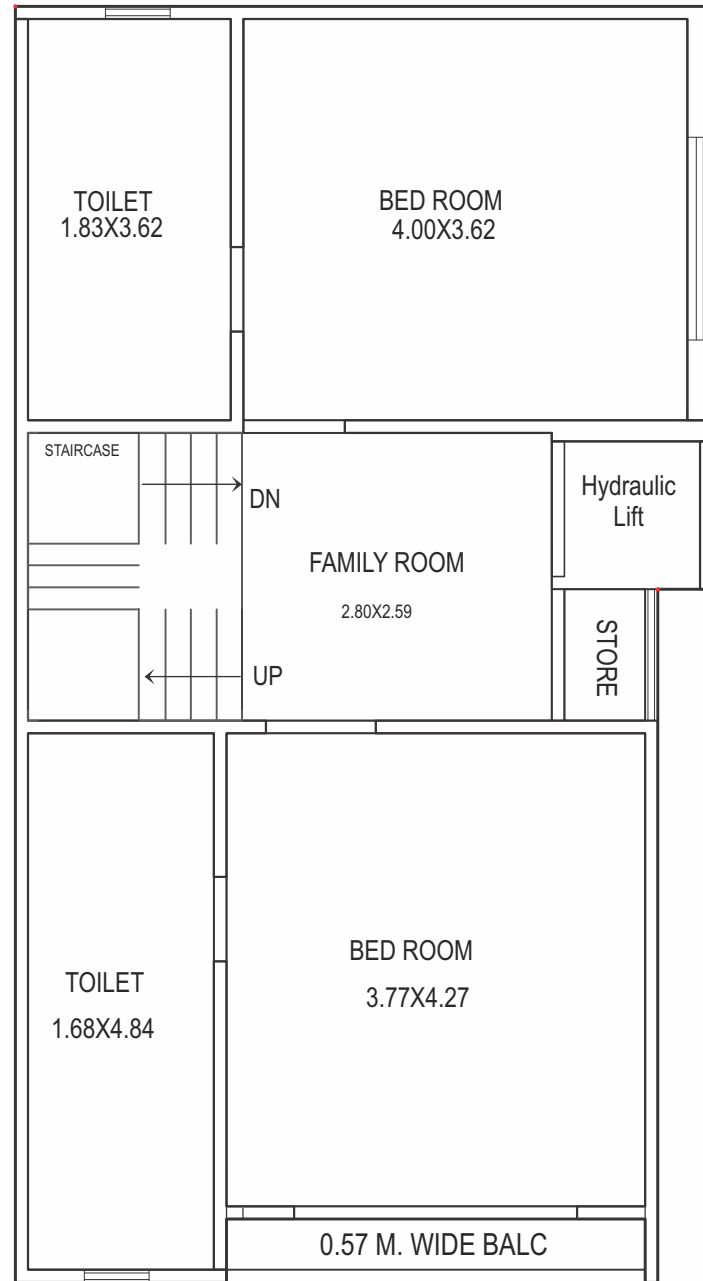


TERRACE FLOOR PLAN

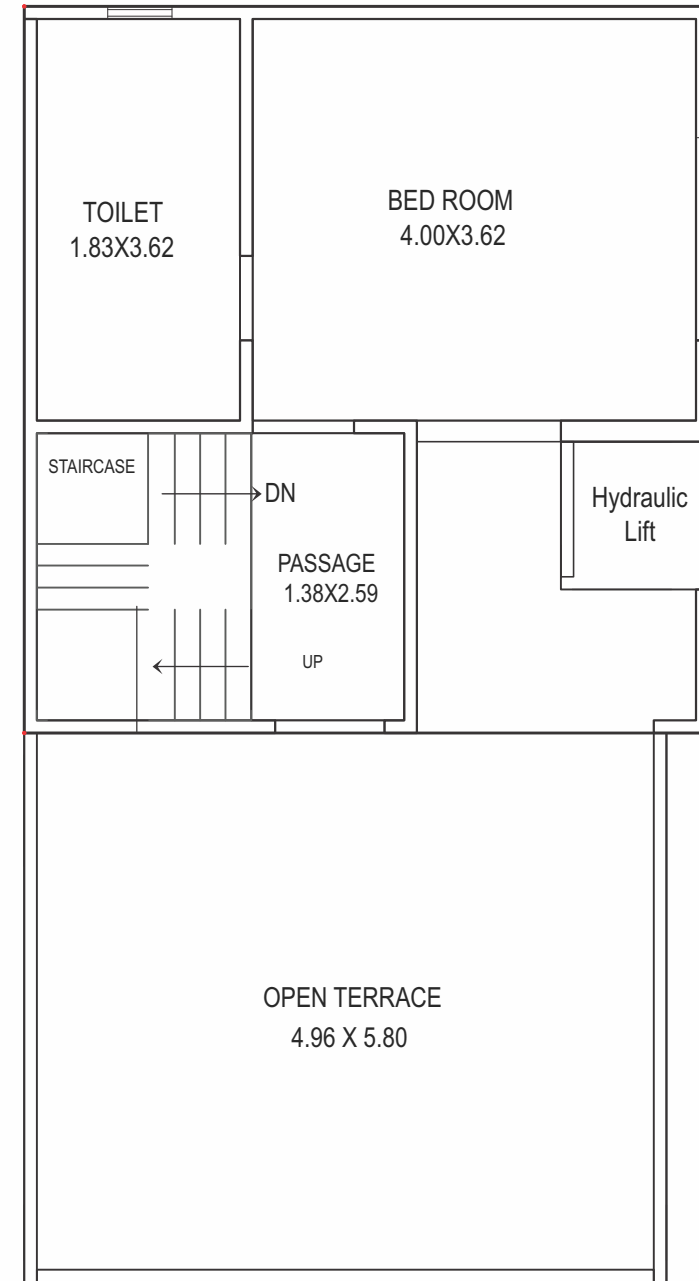
# TYPE-A1 (17,19,24)



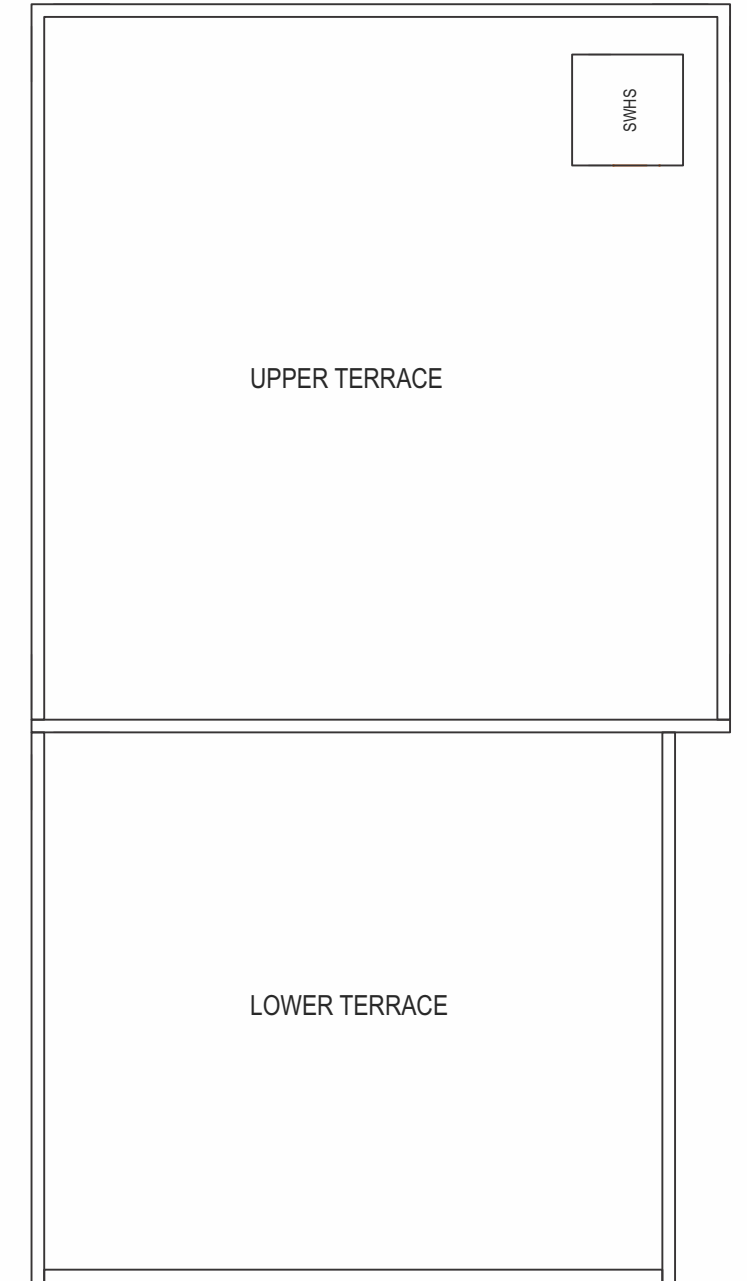
GROUND FLOOR PLAN



FIRST FLOOR PLAN

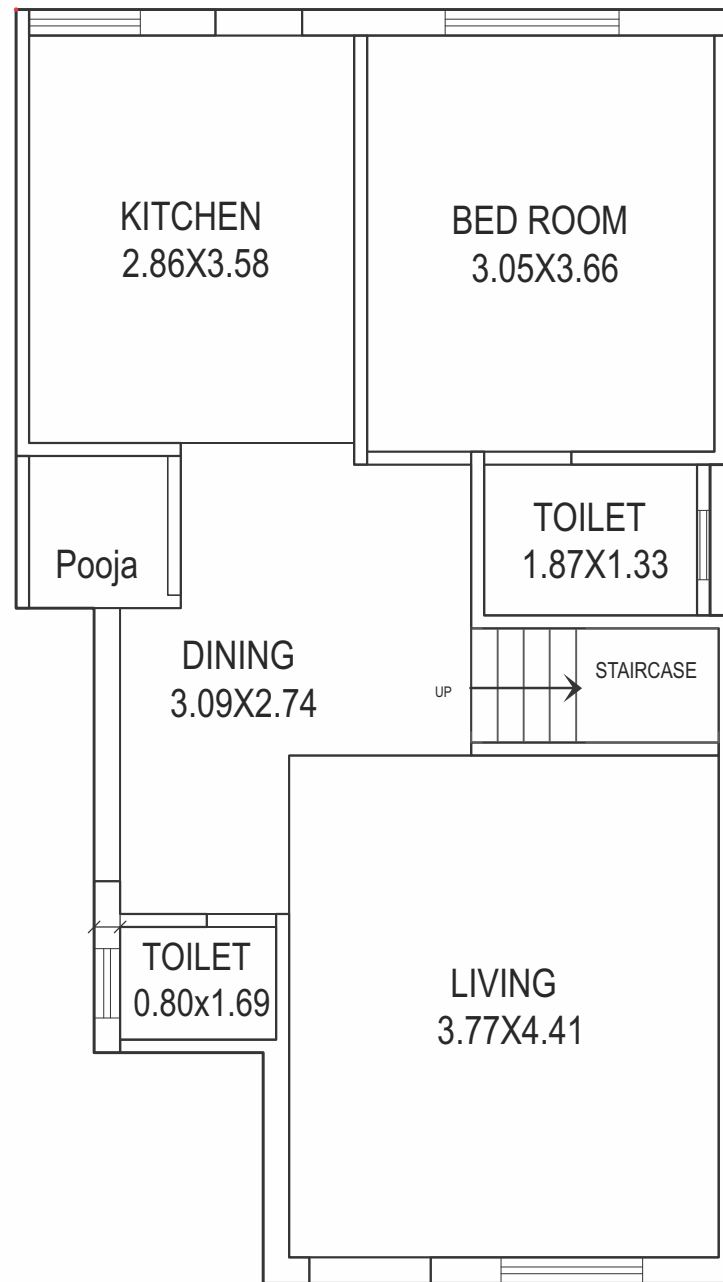


SECOND FLOOR PLAN

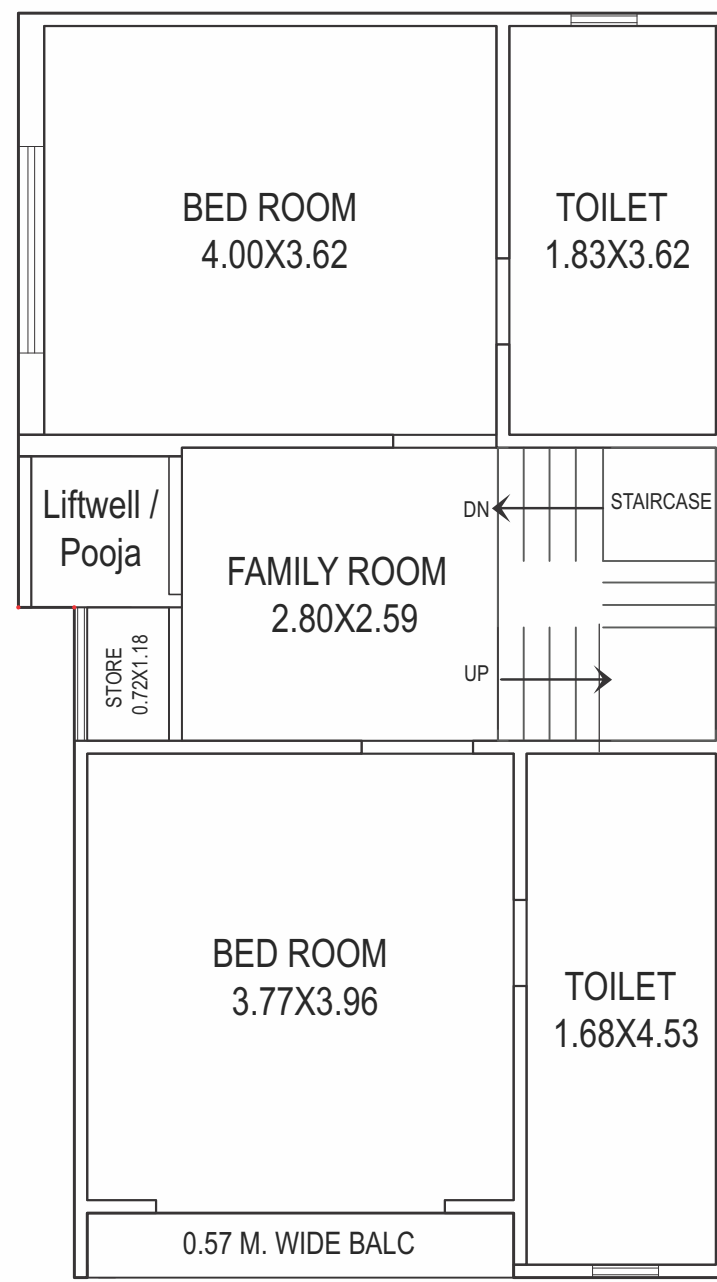


TERRACE FLOOR PLAN

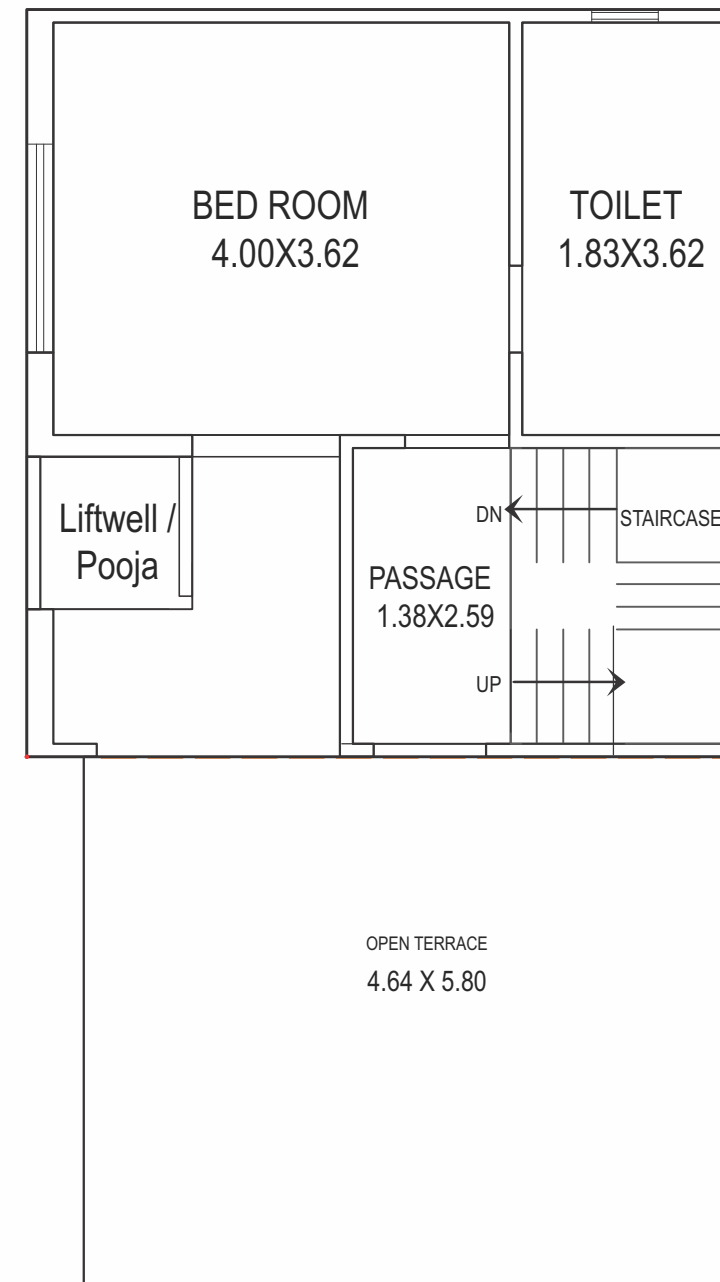
# TYPE-A2 (20,22)



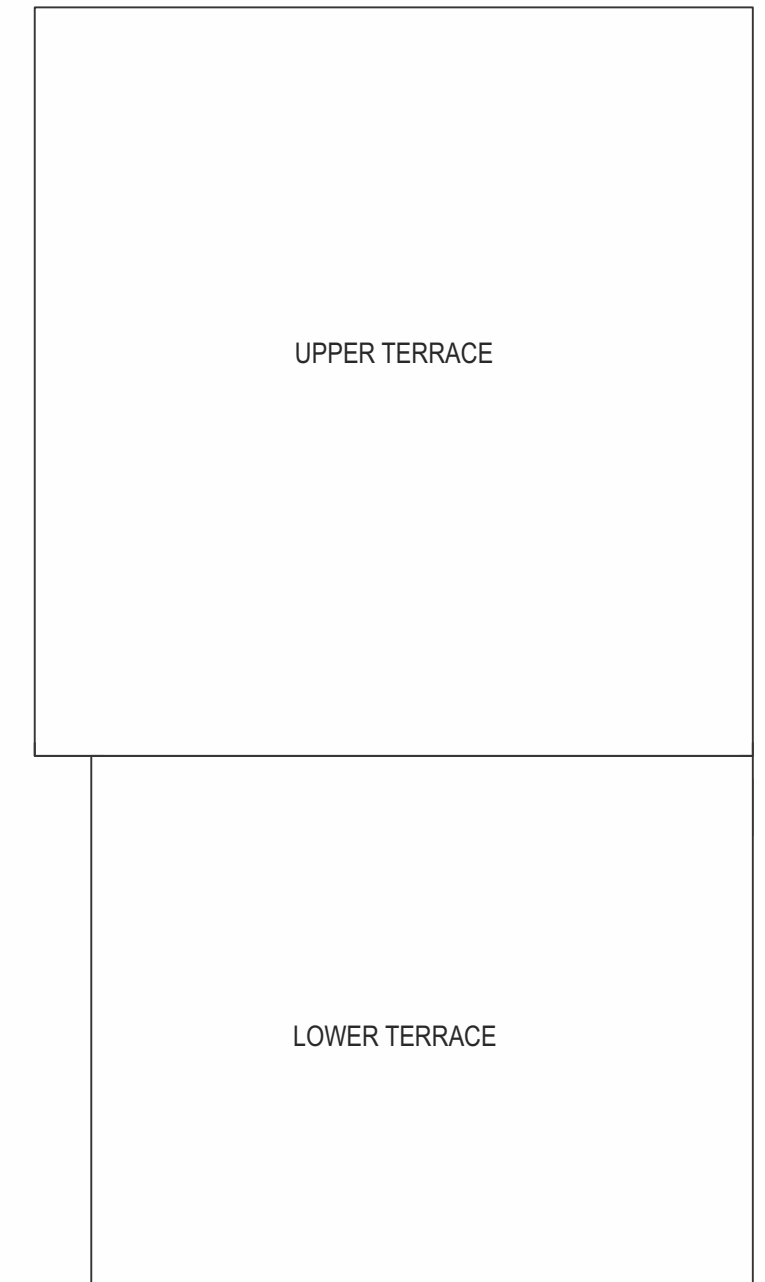
GROUND FLOOR PLAN



FIRST FLOOR PLAN

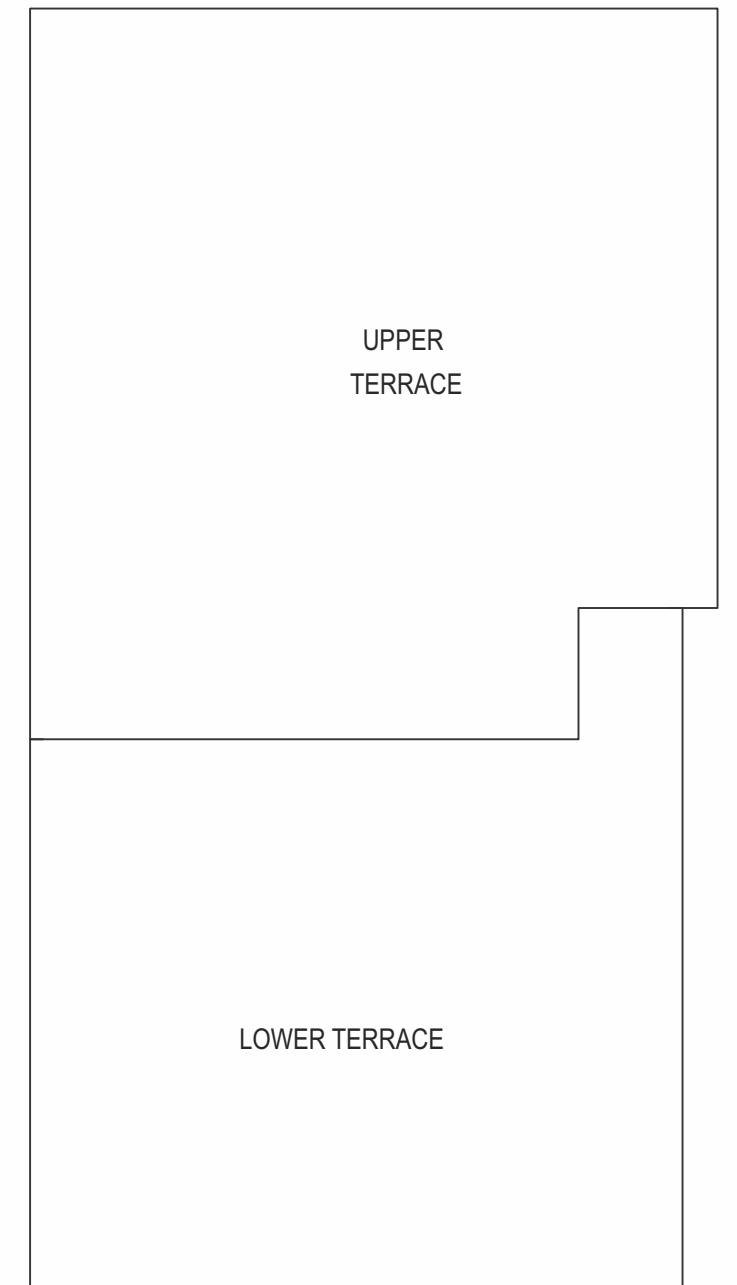
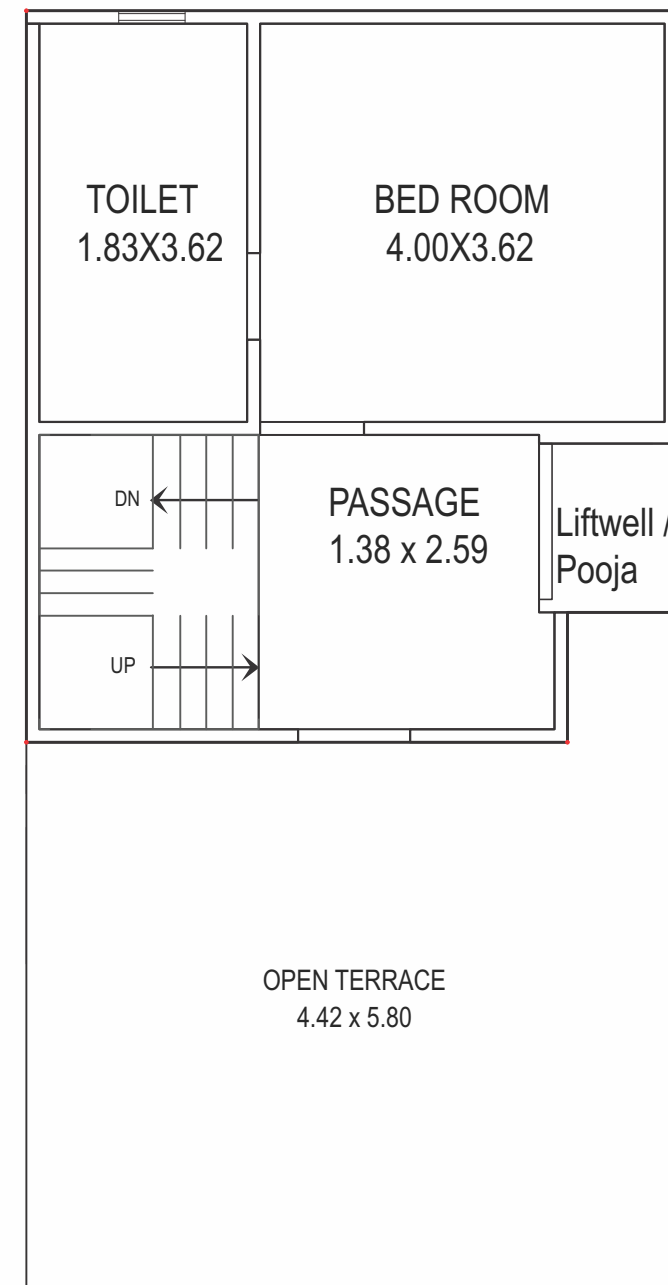
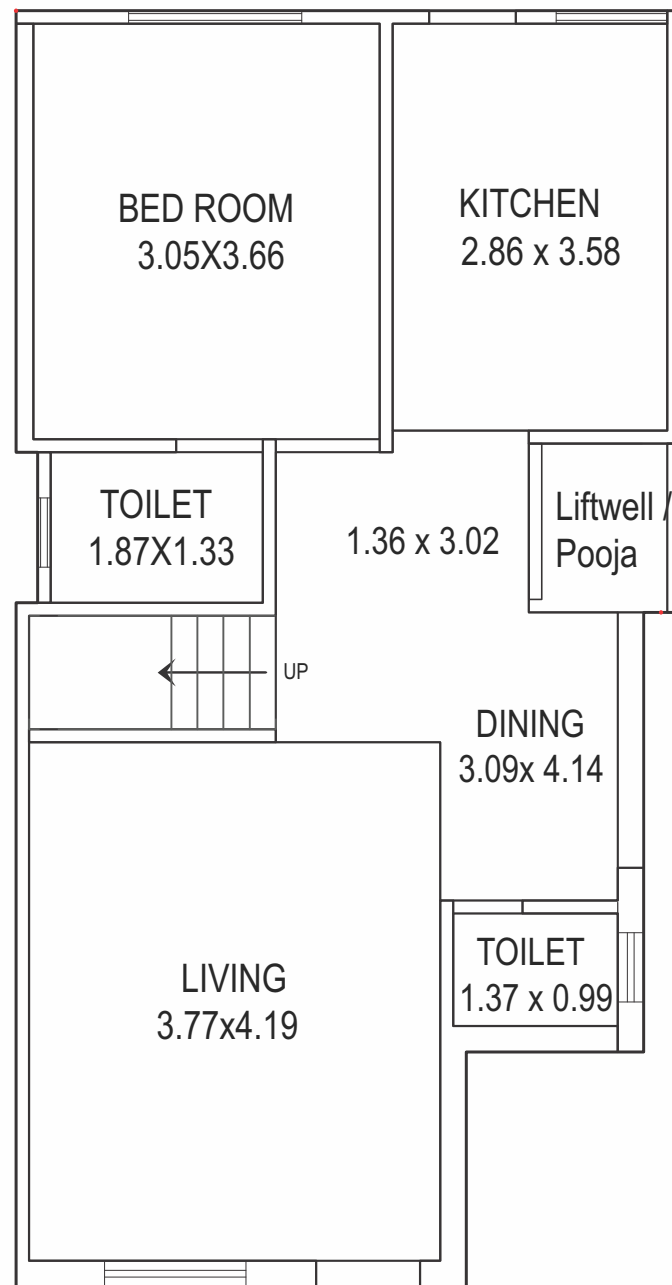


SECOND FLOOR PLAN



TERRACE FLOOR PLAN

# TYPE-A3 (21,23)



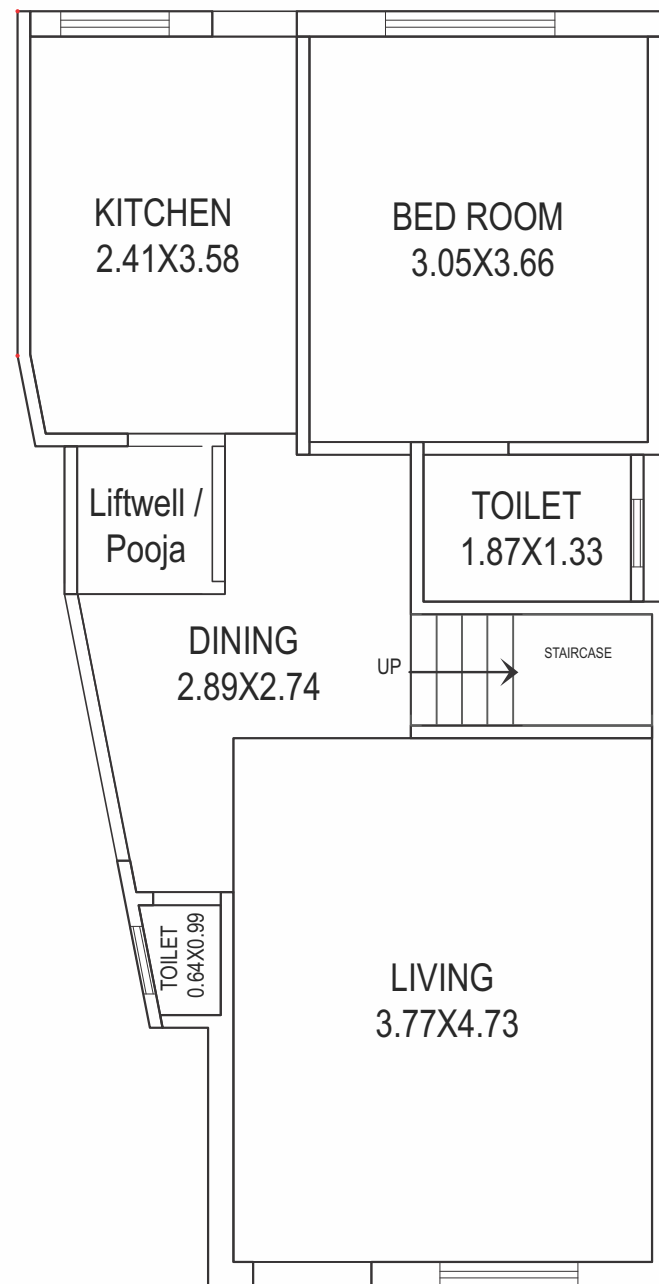
GROUND FLOOR PLAN

FIRST FLOOR PLAN

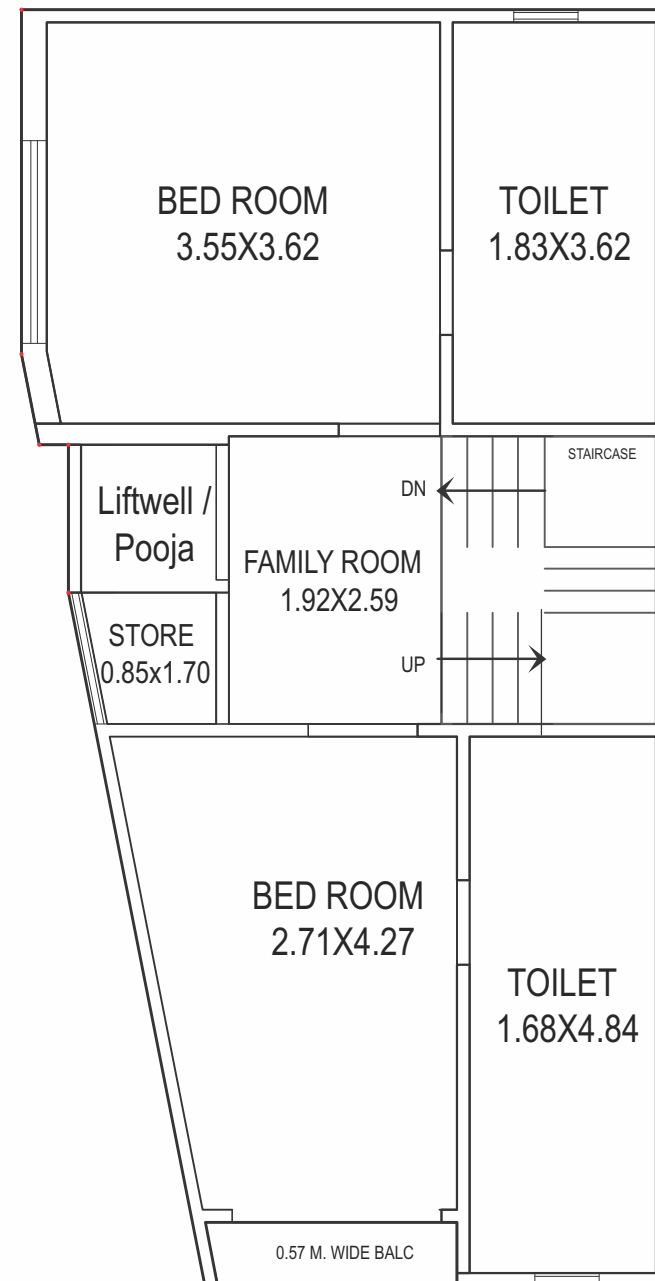
SECOND FLOOR PLAN

TERRACE FLOOR PLAN

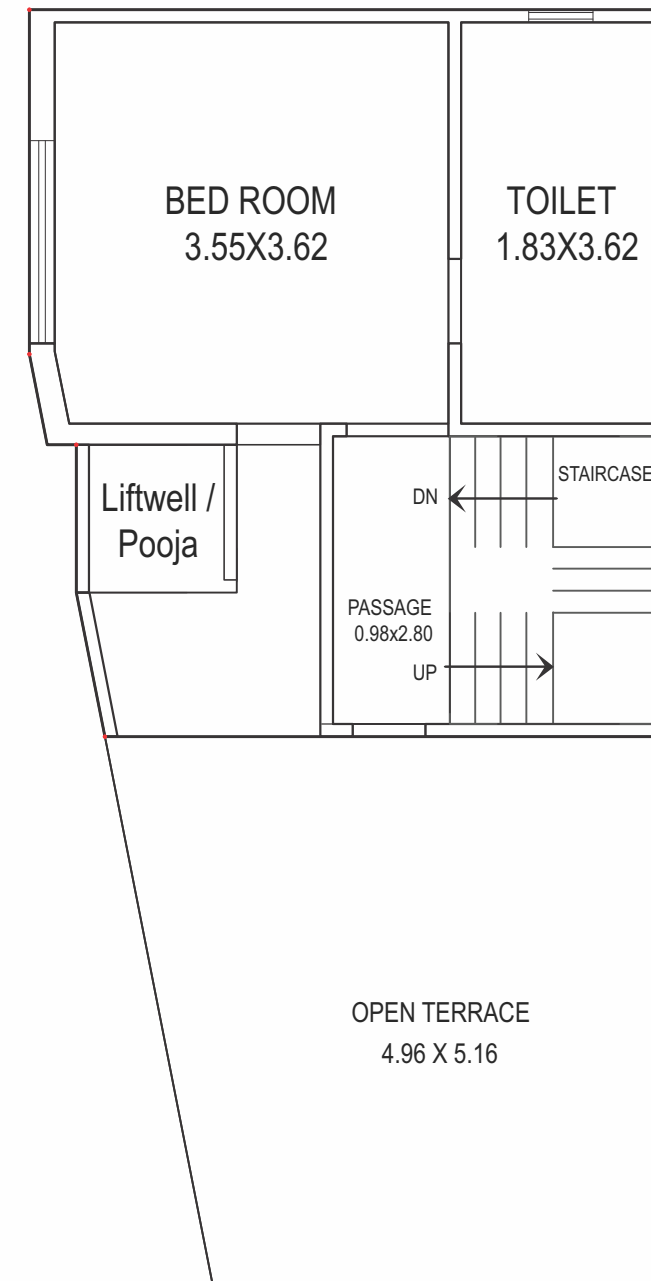
# TYPE A4 (16)



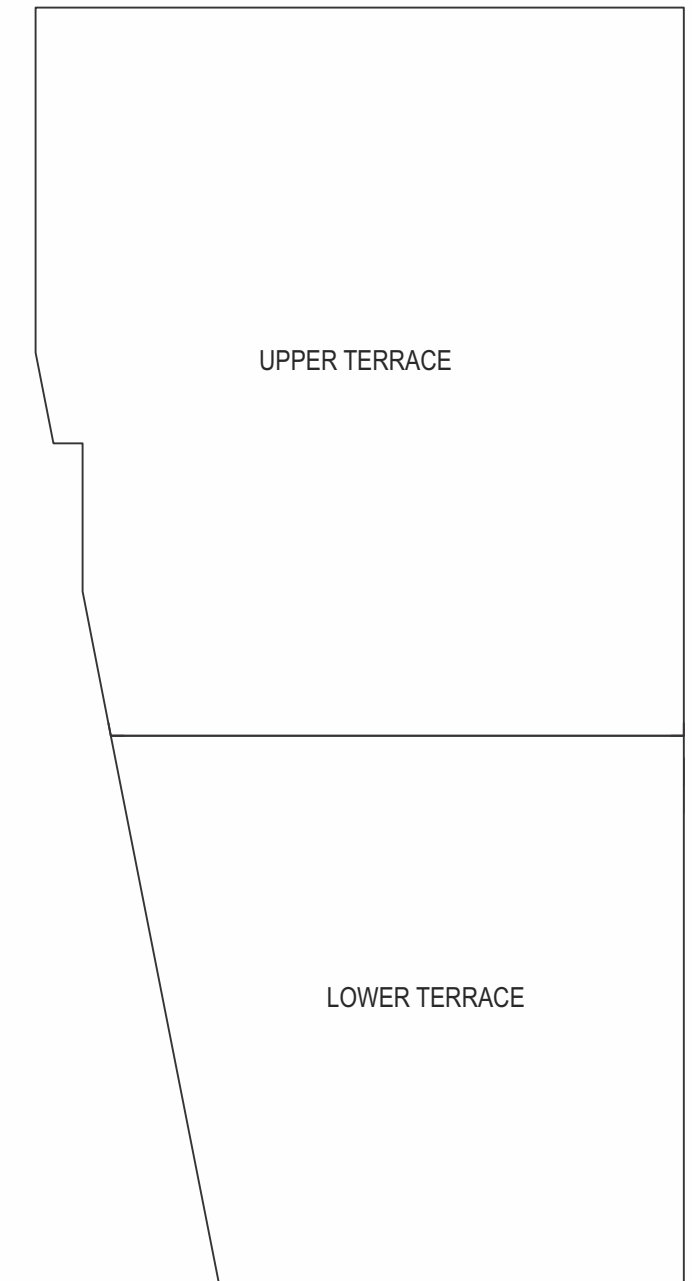
GROUND FLOOR PLAN



FIRST FLOOR PLAN



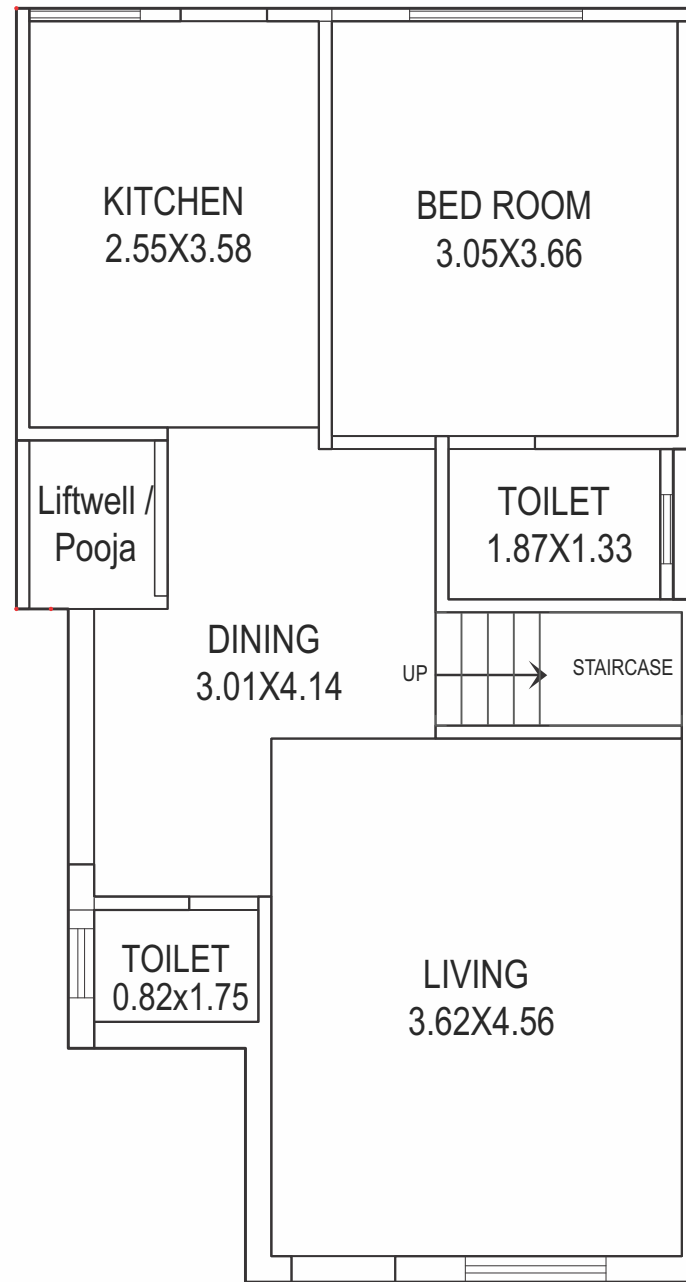
SECOND FLOOR PLAN



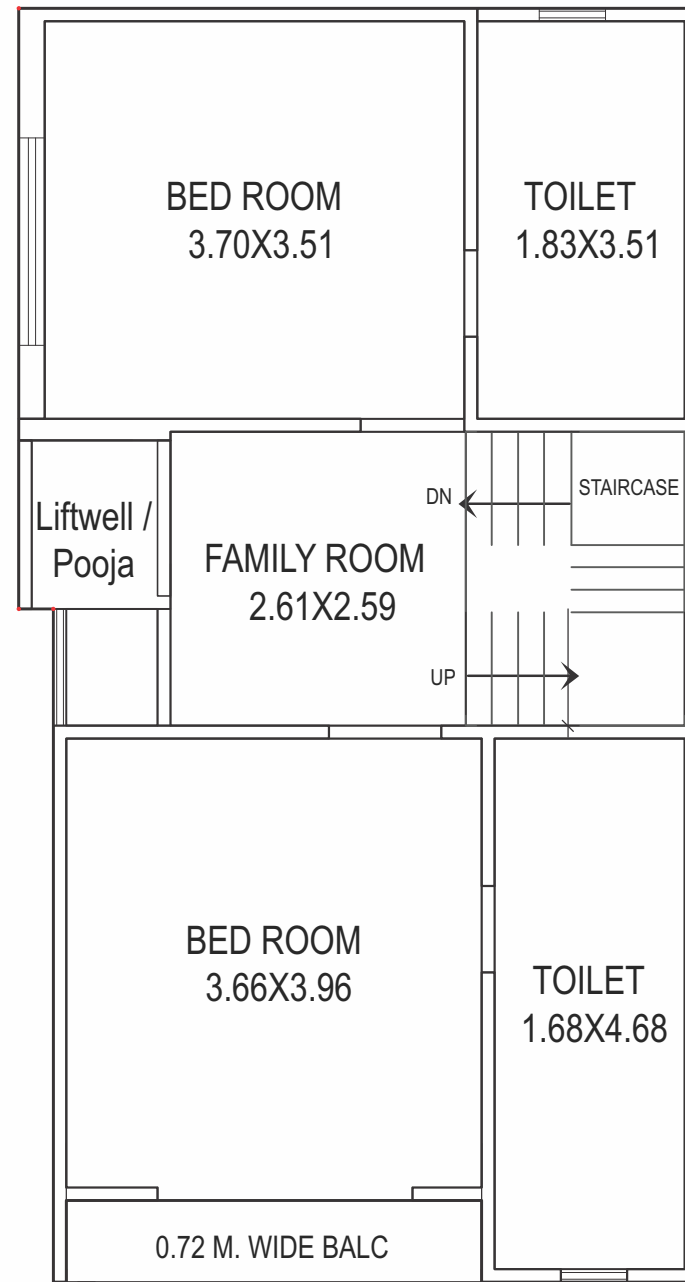
TERRACE FLOOR PLAN



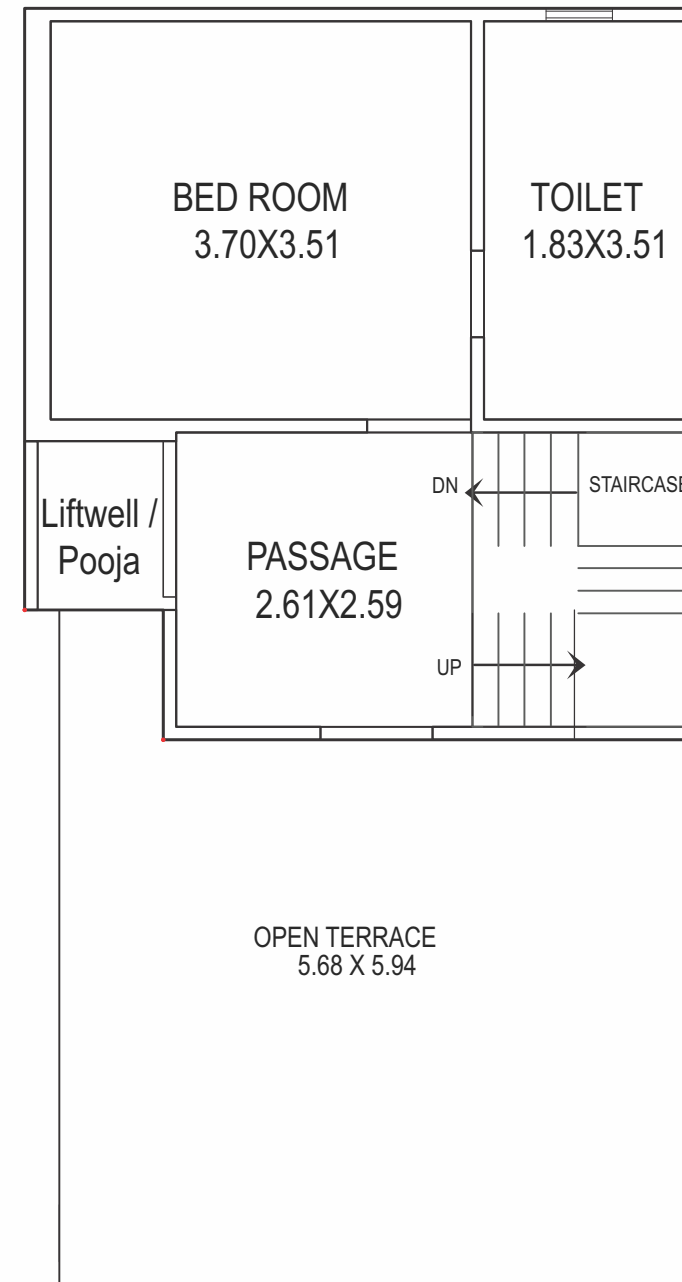
# TYPE B (3,5,7,9,10,12,14)



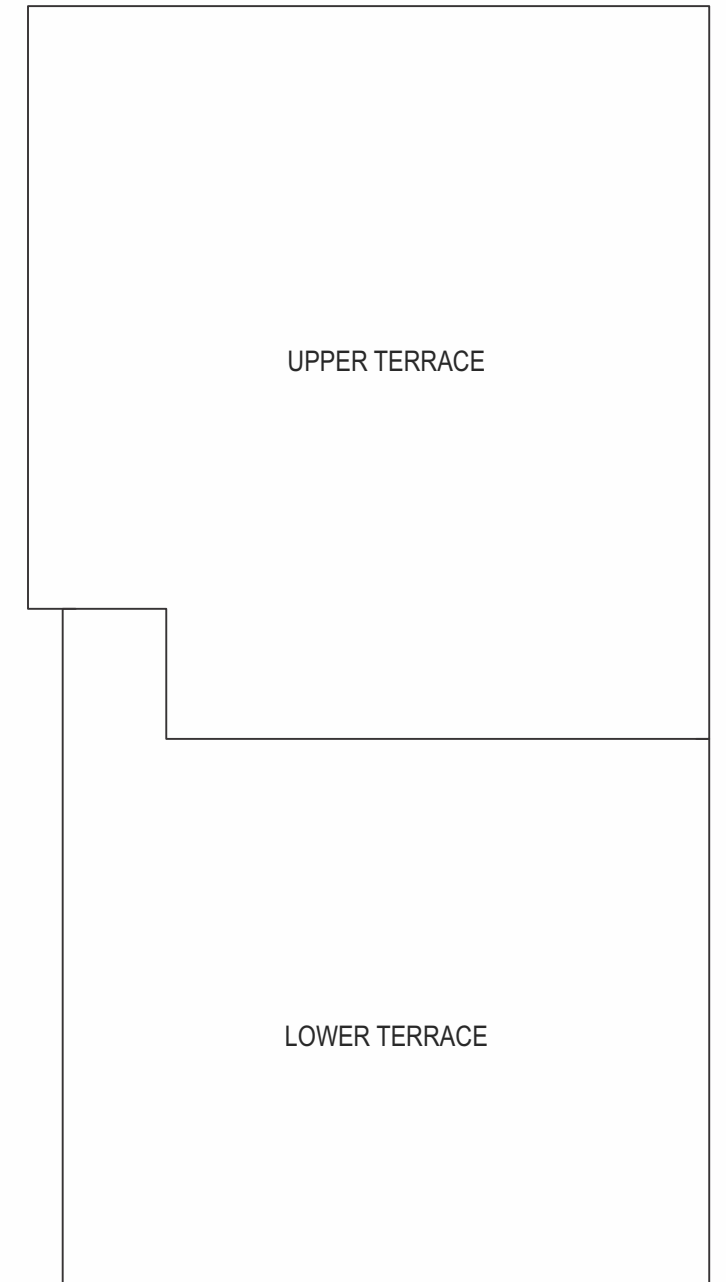
GROUND FLOOR PLAN



FIRST FLOOR PLAN

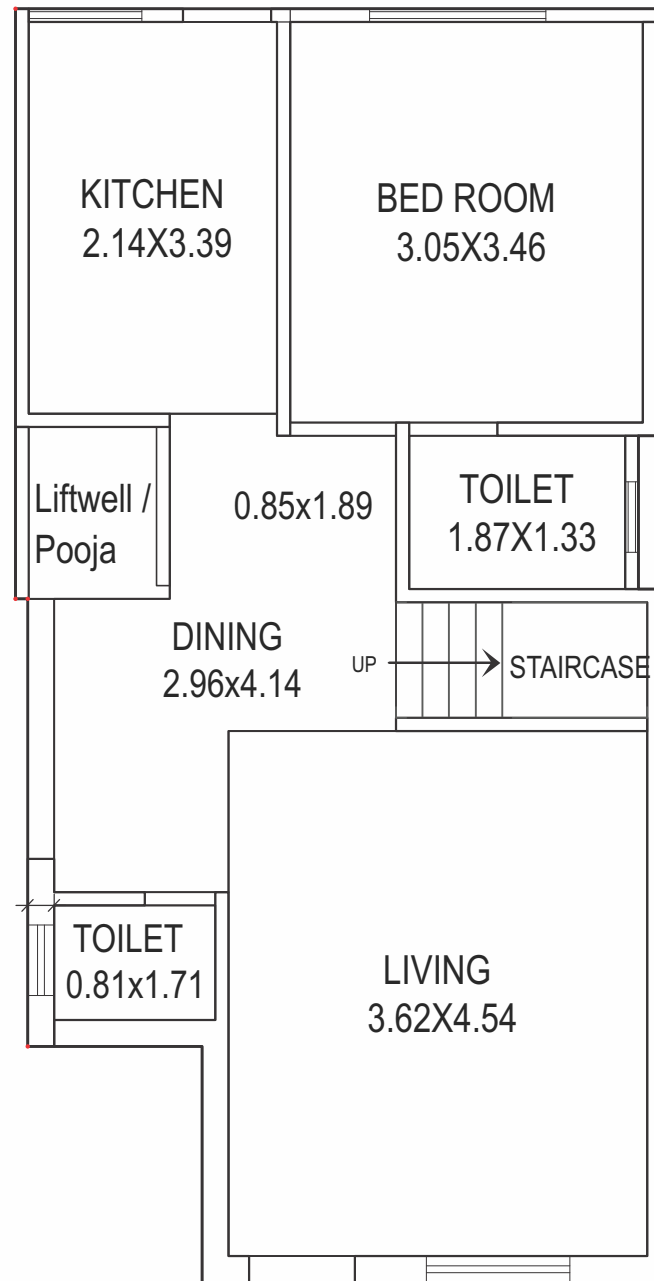


SECOND FLOOR PLAN

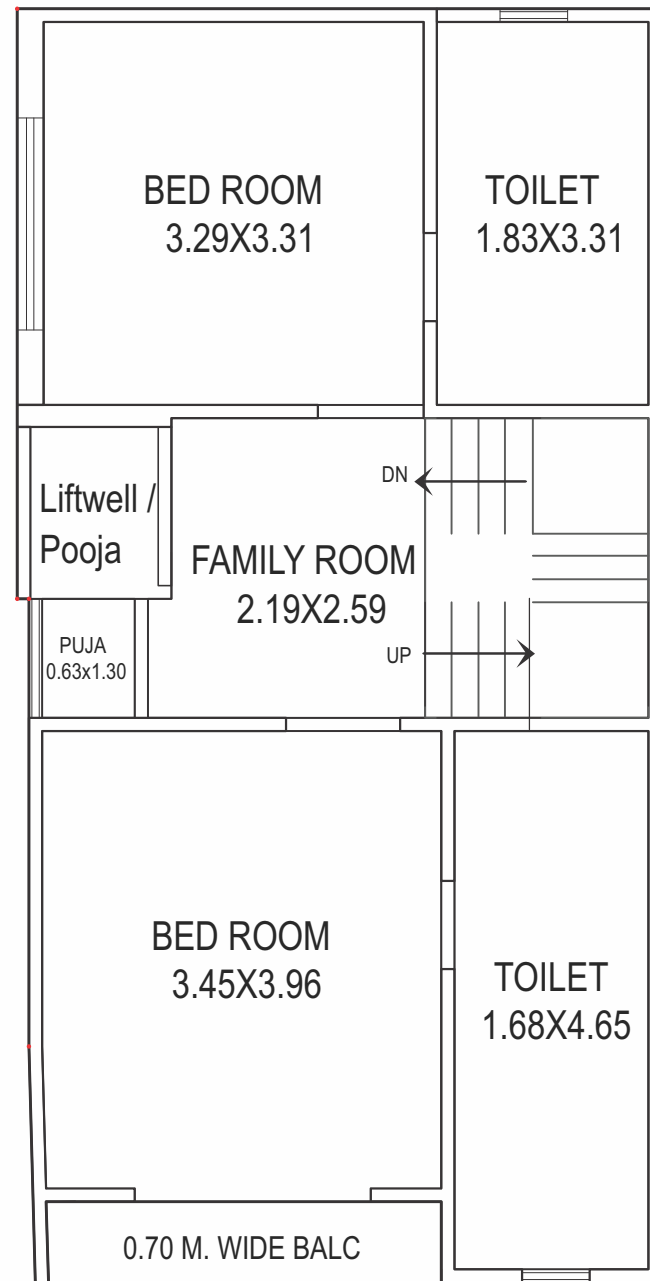


TERRACE FLOOR PLAN

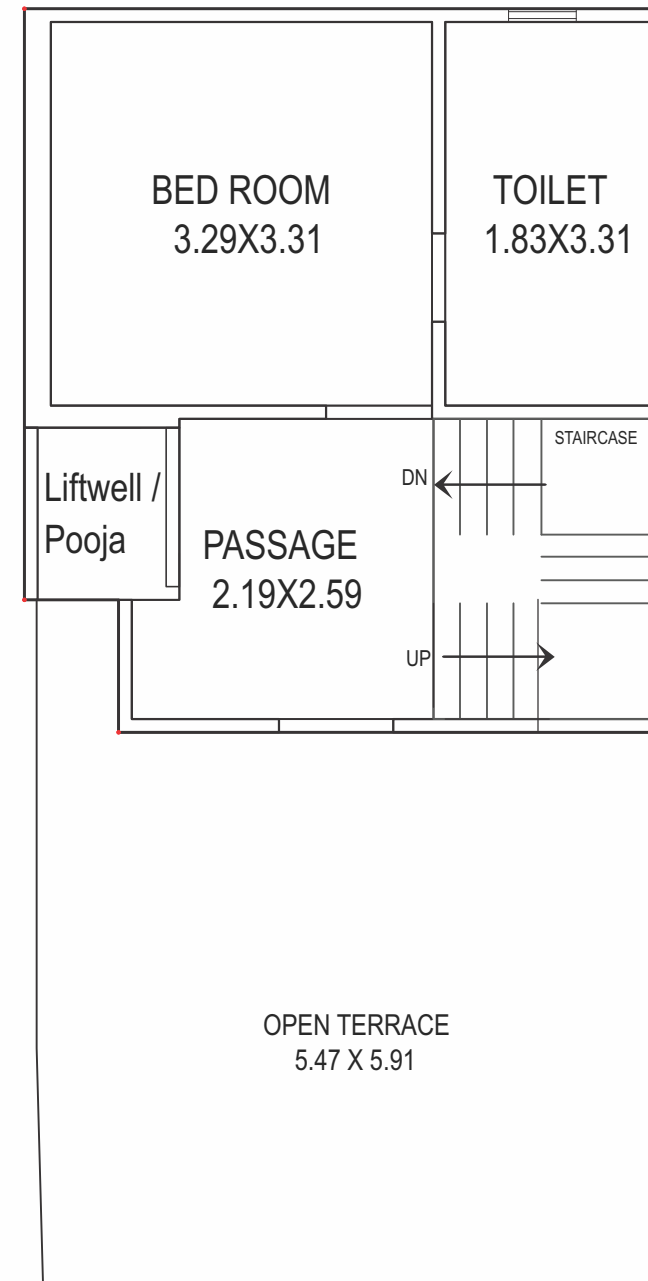
# TYPE B1 (1)



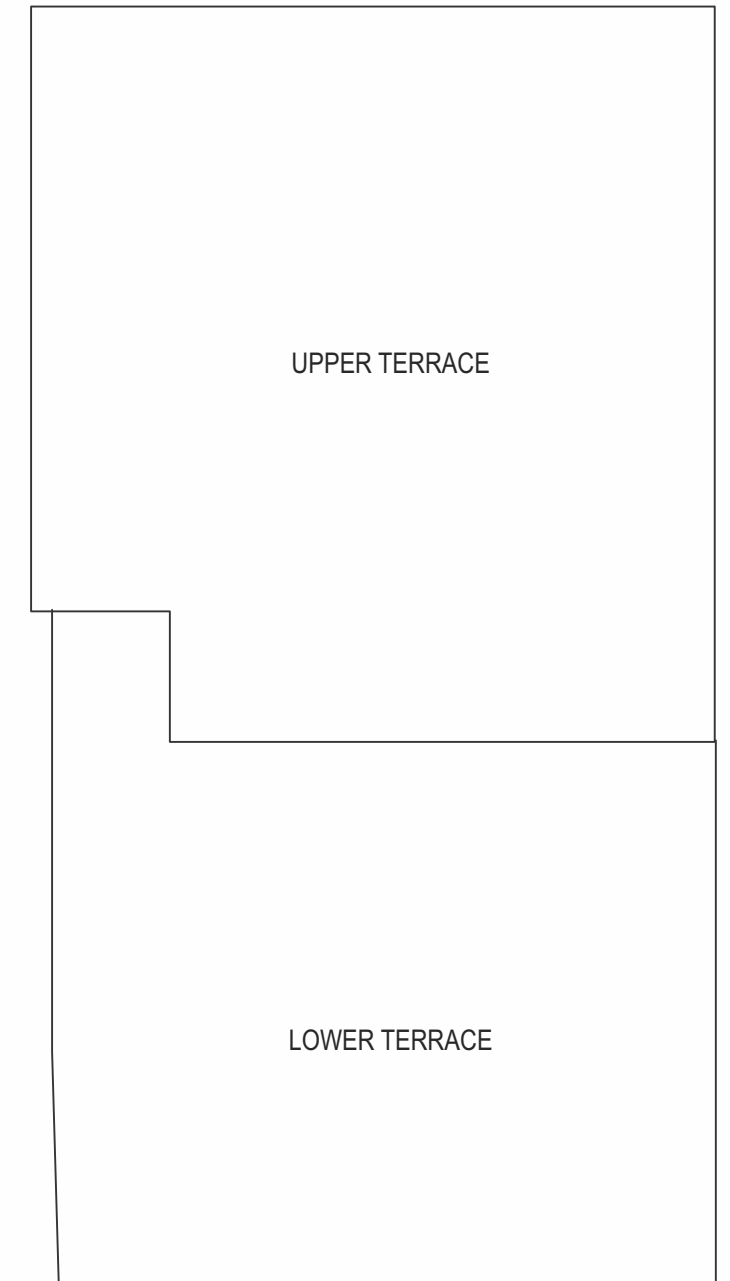
GROUND FLOOR PLAN



FIRST FLOOR PLAN

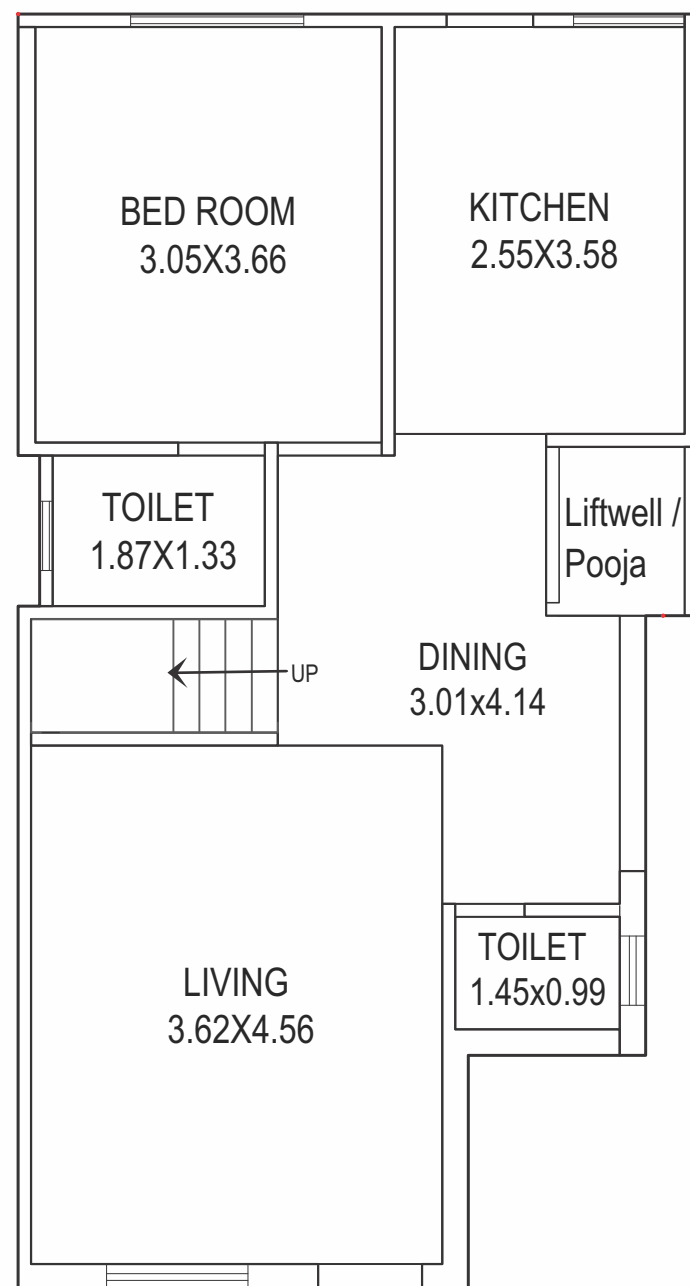


SECOND FLOOR PLAN

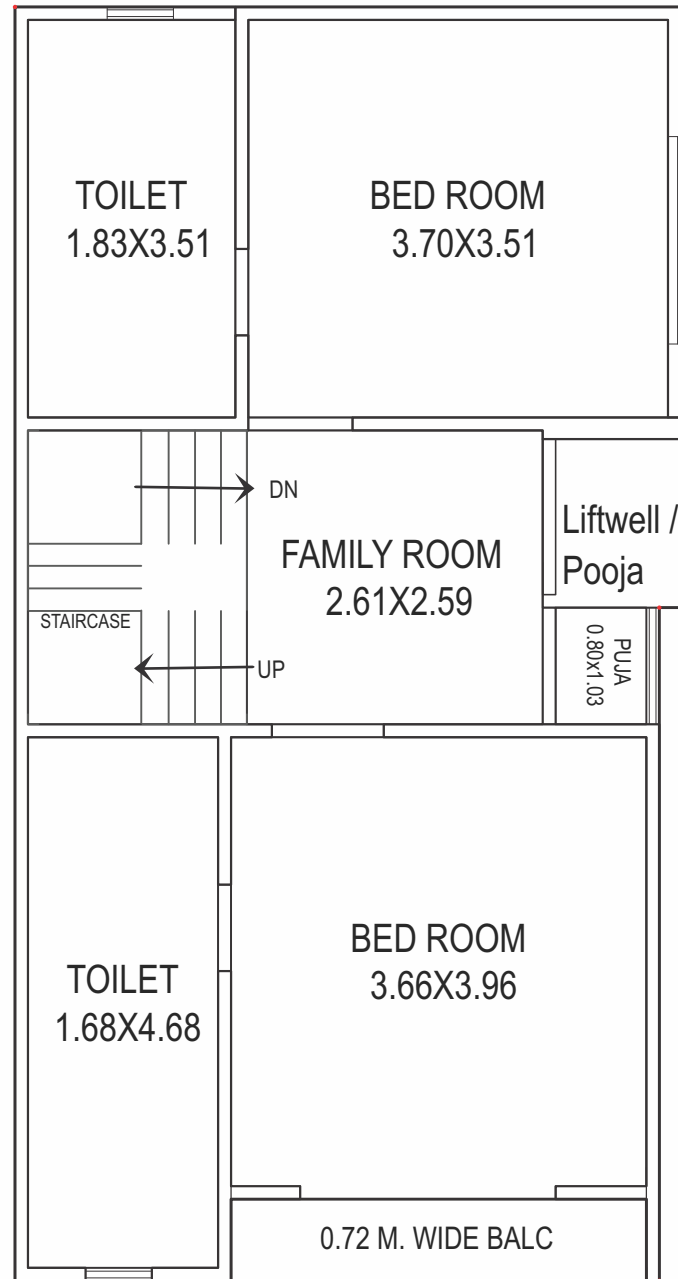


TERRACE FLOOR PLAN

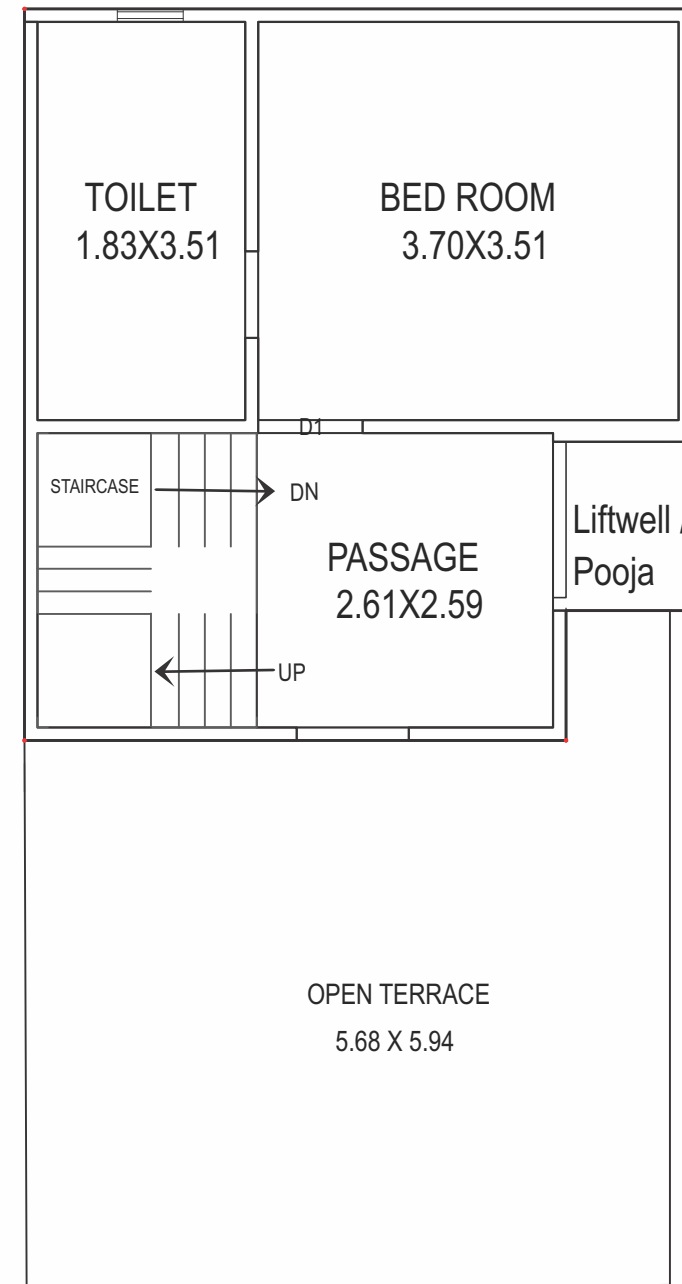
# TYPE B2 (4,6,8,11,13)



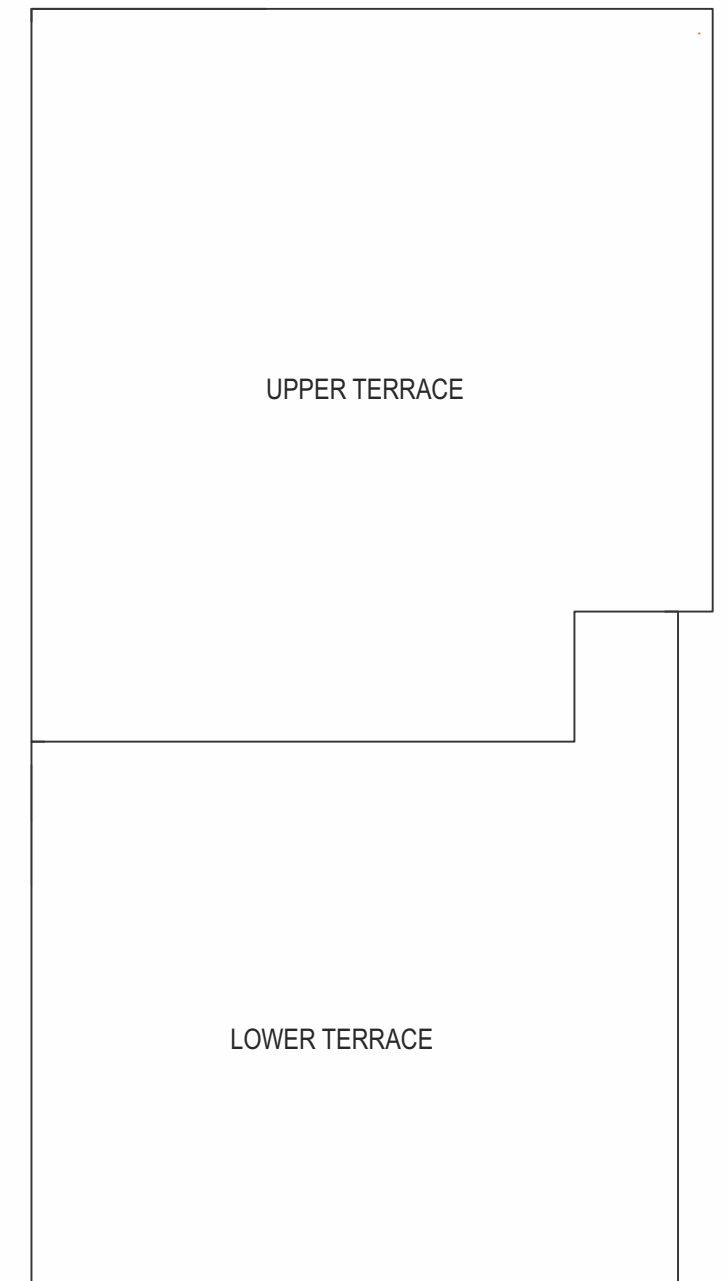
GROUND FLOOR PLAN



FIRST FLOOR PLAN

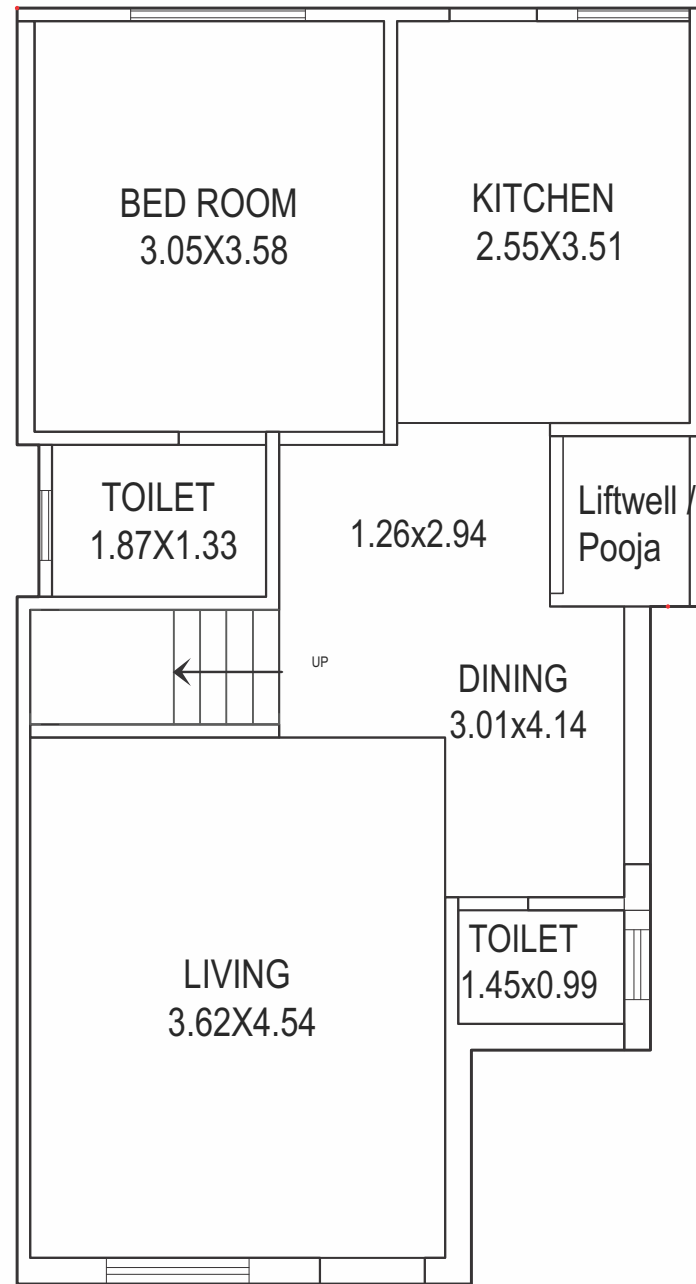


SECOND FLOOR PLAN

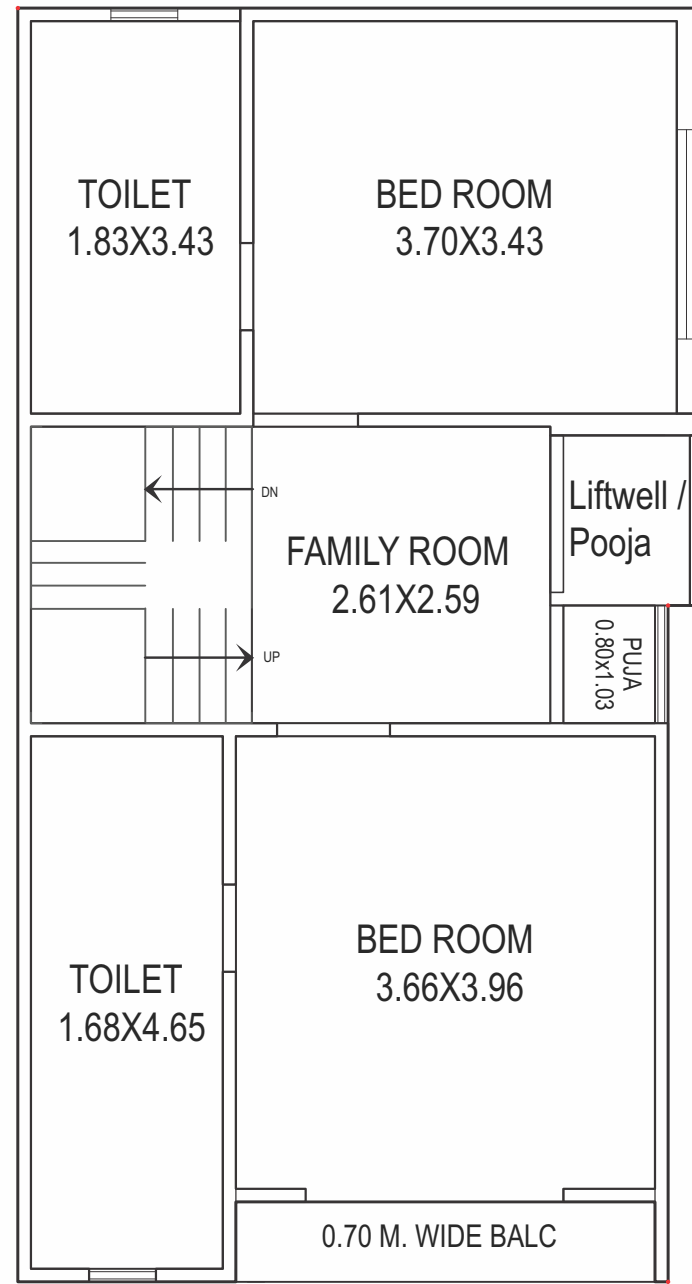


TERRACE FLOOR PLAN

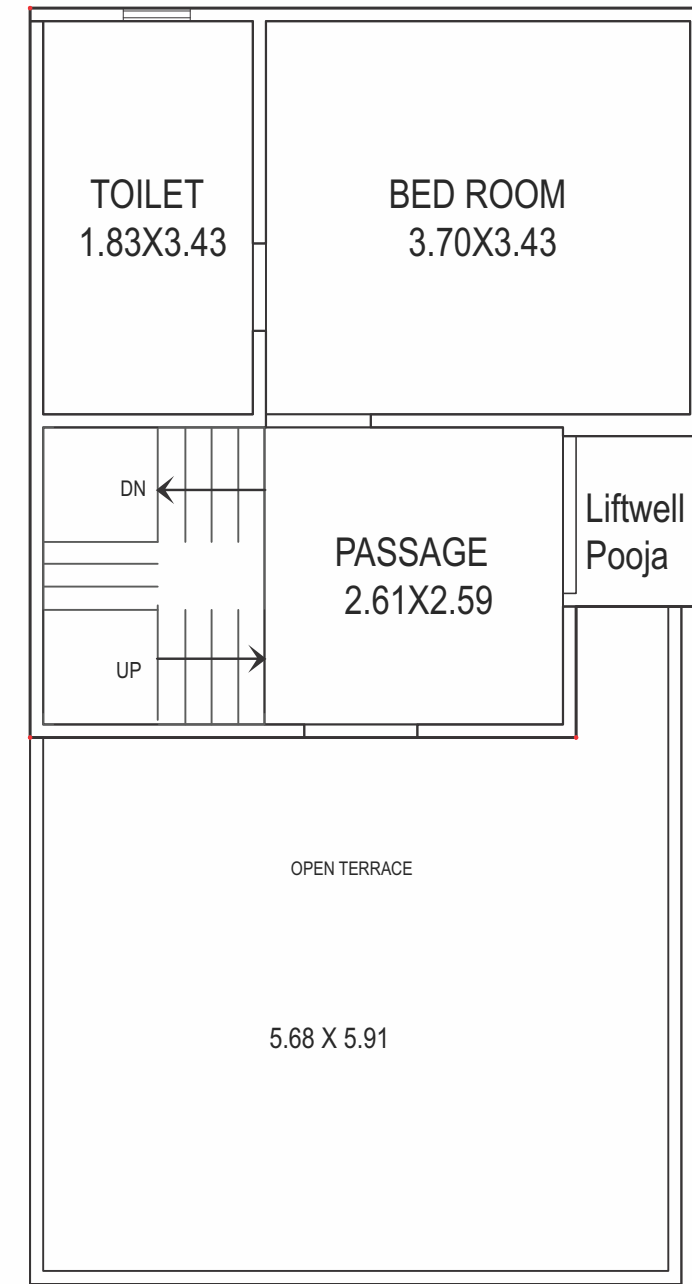
# TYPE B3 (2)



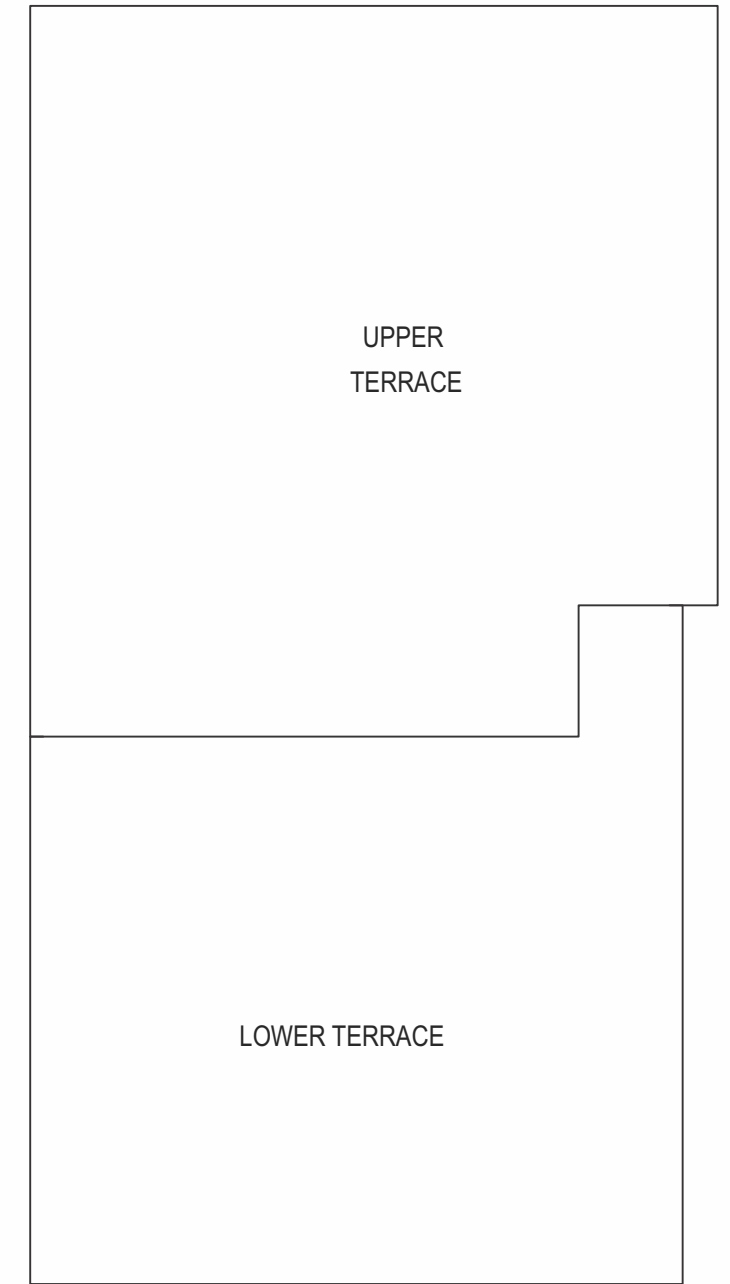
GROUND FLOOR PLAN



FIRST FLOOR PLAN

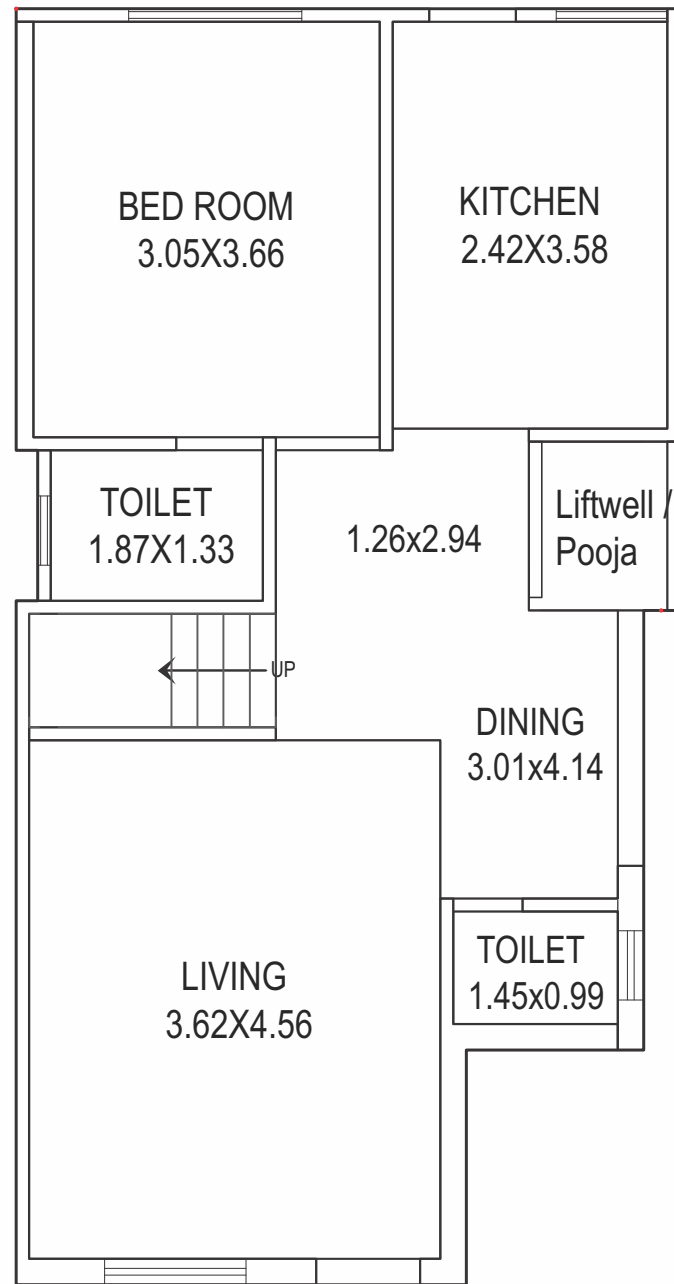


SECOND FLOOR PLAN



TERRACE FLOOR PLAN

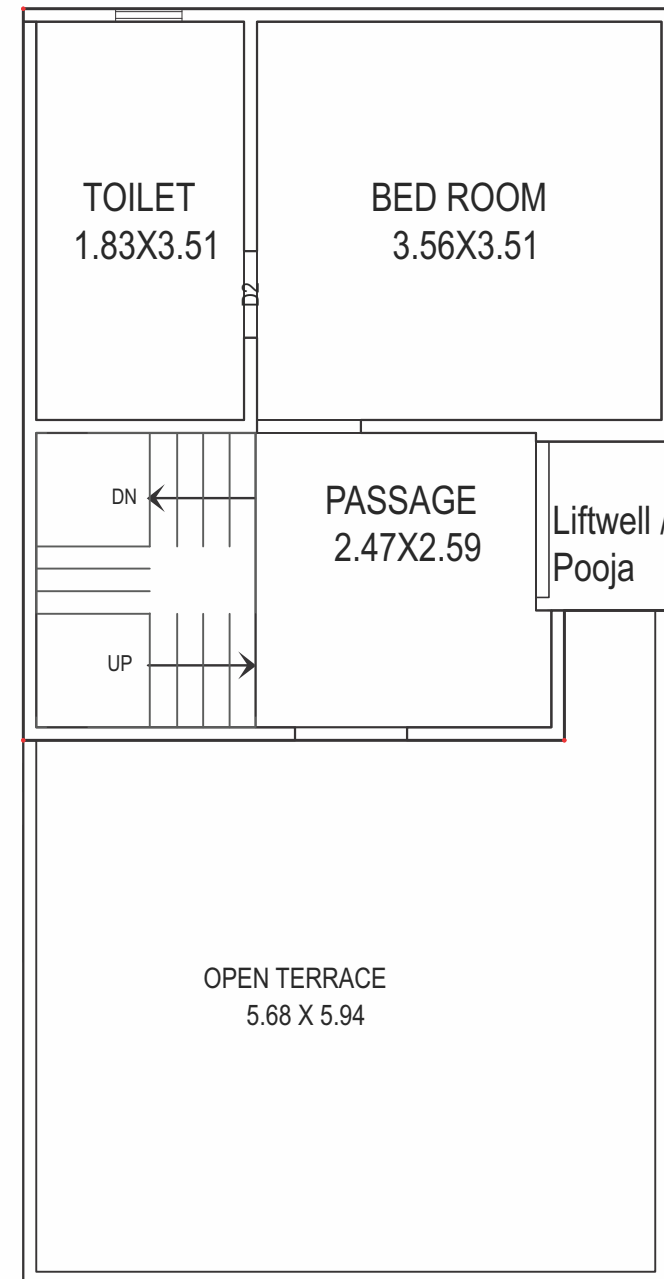
# TYPE B4 (15)



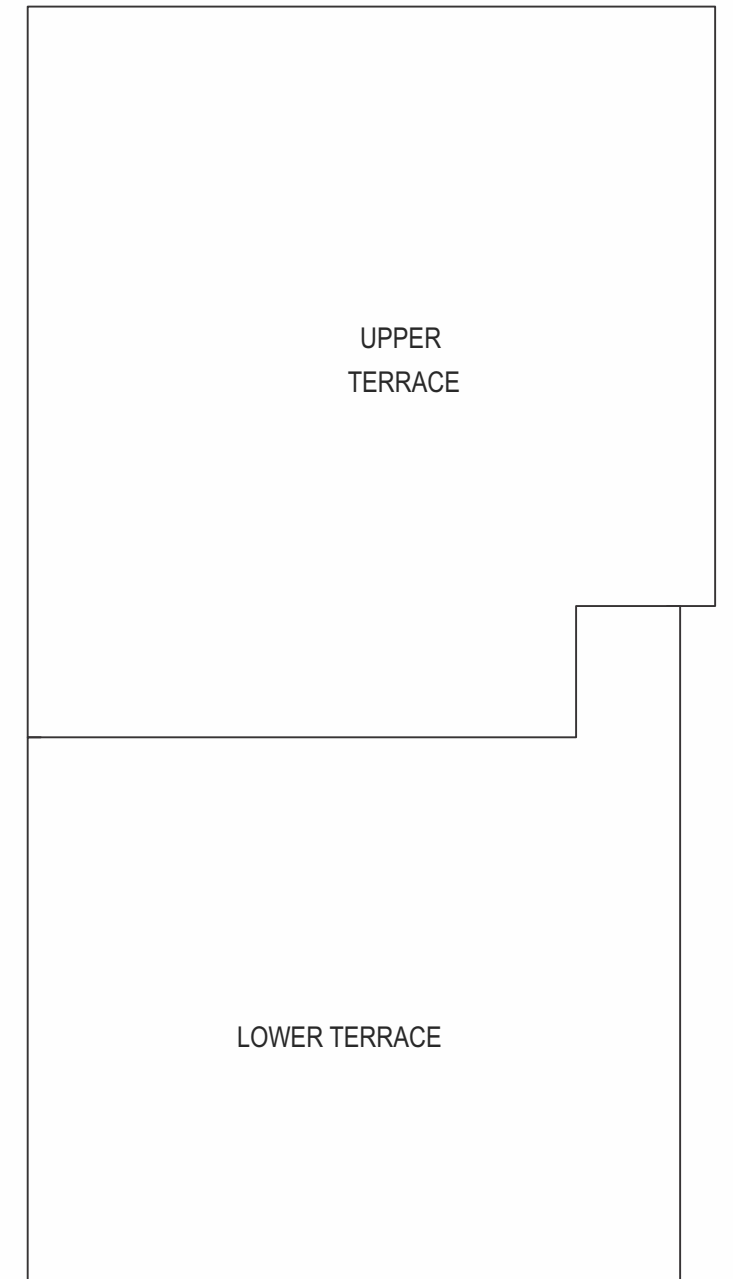
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



TERRACE FLOOR PLAN

# CLUB HOUSE



GROUND FLOOR PLAN

## SPECIFICATIONS

### STRUCTURE

- RCC frame structure as per structural engineers' design.

### WALL FINISH

- Internal smooth cement plaster with birla putty & outside cement plaster with texture and weather shield paint.

### FLOORING

- Premium quality vitrified tiles as per the architects' design.

### BATHROOMS

- Premium quality designer wall tiles as per the architects' design & branded C.P. fittings and sanitary vessels.

### PLUMBING

- Concealed Plumbing work with CPVC & UPVC pipes for hot and cold water supplies & SWR pipe for drainage.

### DOORS

- Designer main door as per architects' design. Internal flush doors with laminated & branded locks and fitting.

### WINDOWS

- Good quality UPVC Powder coated aluminum windows with mosquito nets.

### KITCHEN

- Granite or equivalent top branded kitchen platform with sink and designer wall tiles as per architects' design.

### ELECTRIFICATION

- Branded ISI concealed copper wiring with elegant branded modular switches.

### LIFT (OPTIONAL)

- Space for lift provision.

## LEISURE AMENITIES

IN THE COMMON AREA

- HOME THEATER
- A.C GYM
- TERRACE LOUNGE
- YOGA DECK
- CLUB HOUSE WITH MULTIPURPOSE ROOMS
- JOGGING TRACK
- LUSH GREEN GARDEN / PARTY LAWN
- CHILDREN PLAY AREA
- SPLASH POOL
- SENIOR CITIZEN GAZEBO

## VALUE ADDITIONS

- VIDEO DOOR PHONE
- GEYSERS IN ALL BATHROOMS
- R.O/WATER PURIFIER IN KITCHEN
- CHIMNEY IN KITCHEN
- SECURED MAIN GATE
- CCTV SURVEILLANCE FOR COMMON AREA
- RCC TRIMIX INTERNAL ROADS WITH PAVERS & PLANTERS
- RAINWATER HARVESTING
- SOLAR ELECTRICITY FOR COMMON AREAS  
(SUBJECT TO PERMISSION)