

Kamaxi
HIGHRISE

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Developers : **SHIV ENTERPRISE**

Kamaxi Highrise, Opp Pancham Skys, Near L&T Colony, Near sudarvan- Nandanvan Soci, Abhilasha to Canal road, Vadodara-24.

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Architect :



Structure :

CBM
Engineers

Payment Terms: • 10% on booking • 20% within 30 days • 15% on Plinth • 10% on 1st/4th/7th & 10th floor slab • 5% on plaster • 5% on flooring • 5% 1 month before sale deed.

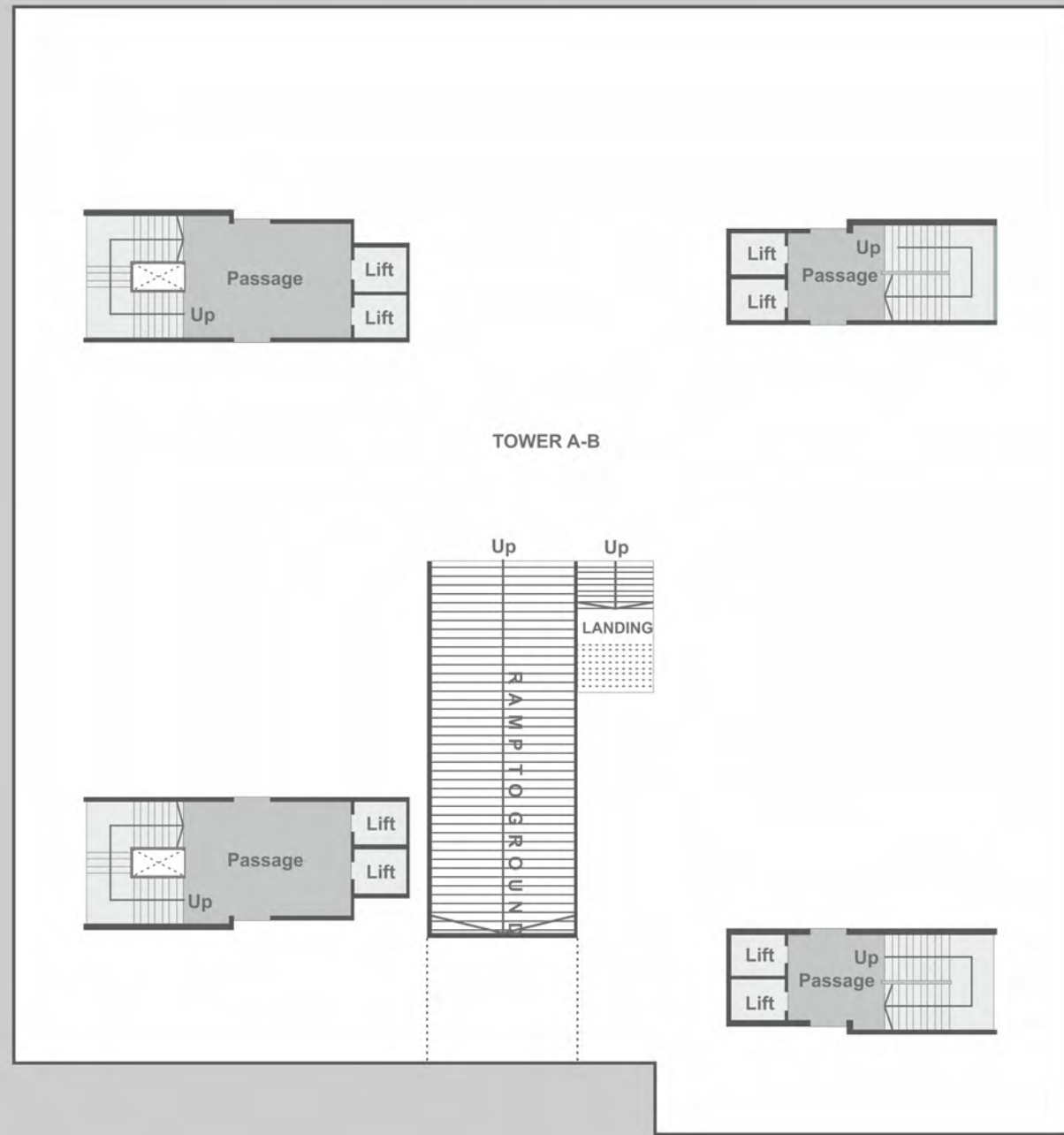
Notes : • Possession will be given after one month of settlement of all accounts. • Documentation charges, Development Charges, Stamp duty, MGVC & CORPORATION charges, GST, Legal Charges & common maintenance charges will be paid by the purchaser. • Any new Central or State Government Taxes, if applicable shall have to be borne by the purchaser. • Extra work shall be executed after making full payment. • Continuous default payments leads to cancellation. • Developers shall have the right to change the plan, elevation, specification or rise the scheme or any details here in will be binding to all. • In case of delay in water supply, light connection, drainage work by authority, developers will not be responsible. • Refund in case of cancellation will be made within 30 days from the date of booking of same unit by a new client. Incase of cancellation of booking 10% of the booking amount plus extra work (if done) will be deducted from the booking amount. • Any plans, specifications or information in this brochure can not form part of an offer, contract or agreement. • This Brochure does not contain any legal part as per rera.

2 & 3 BHK SUPERIOR APARTMENTS

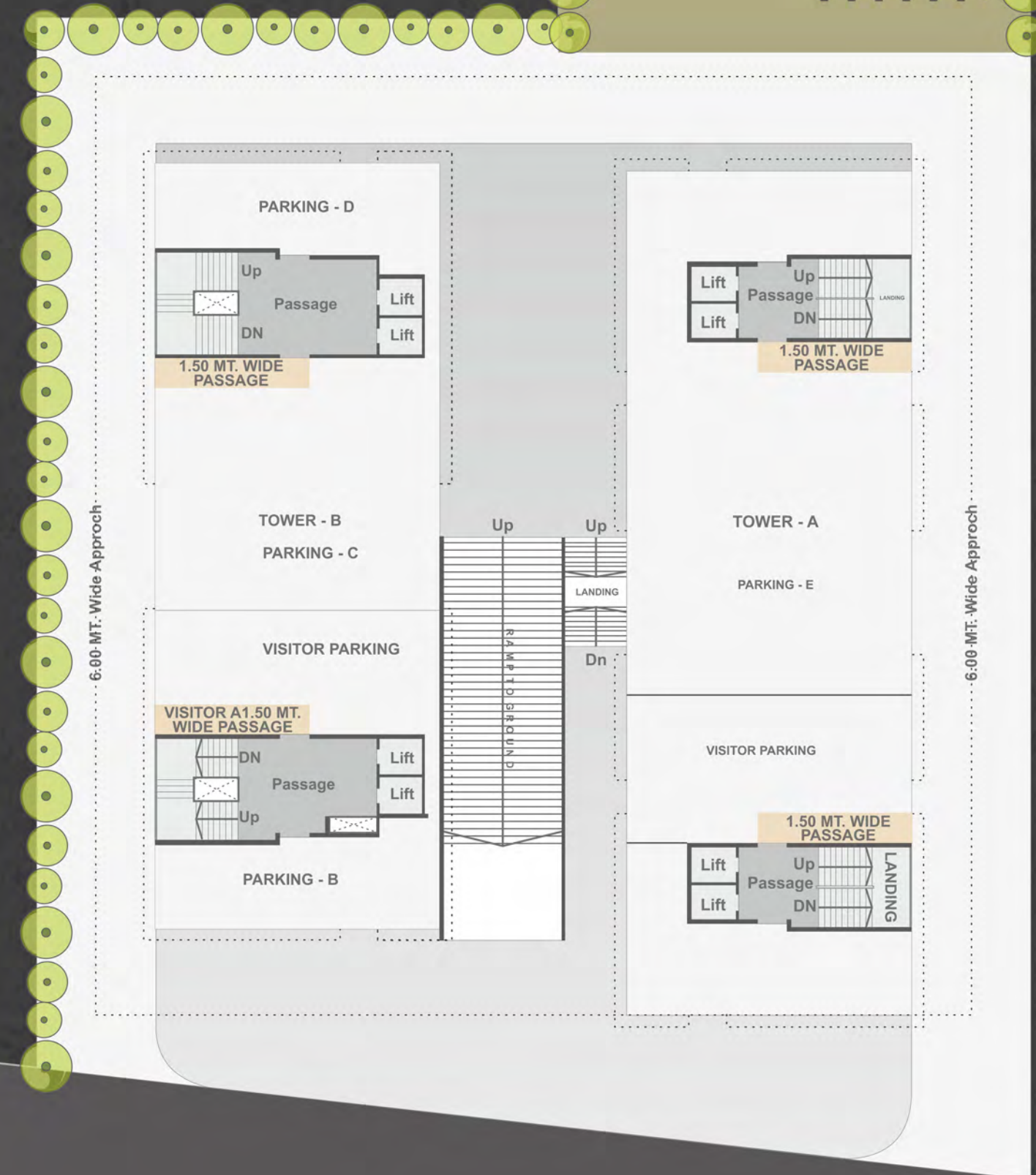


Kamari
HIGHRISE

BASEMENT
FLOOR PLAN



GROUND
FLOOR PLAN



12.00 MT Wide Road

12.00 MT Wide Road

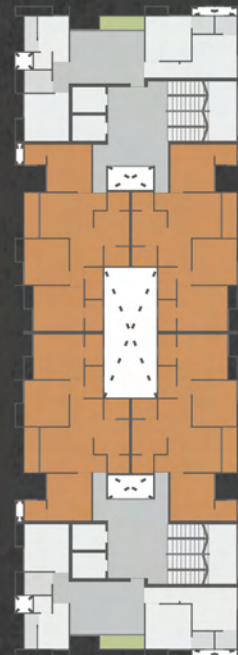
TYPICAL
FLOOR PLAN
1st to 10th



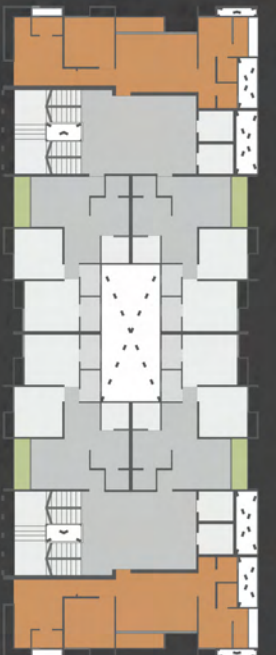
3 BHK - TOWER A
Typical Floor Plan



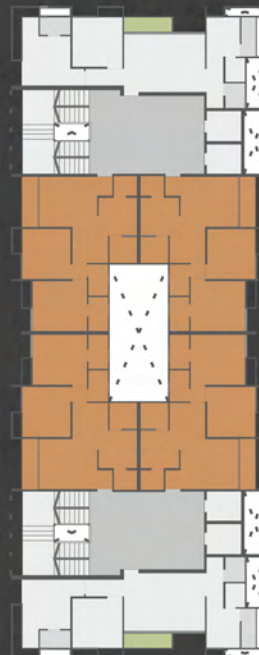
3 BHK – TOWER A
Typical Floor Plan



2 BHK – TOWER B
Typical Floor Plan



2 BHK – TOWER B Typical Floor Plan



AMENITIES



Garden



Gymnasium



Lift With
Power Backup



Sitting Area



Car Parking



Multipurpose Hall



Gazebo

SPECIFICATIONS

STRUCTURE

Earthquake resistant RCC frame structure & aerated block work as per architects design.
Compound wall around entire campus.

FLOORING

Vitrified tiles flooring with skirting in entire apartment. Anti-skid flooring in wash and Balcony area.

WINDOWS

Powder coated aluminum windows with mosquito net safety grills.

KITCHEN

Premium quality ceramic slab with Stainless Steel sink & Granite Platform.

PAINTS & FINISH

Internal walls with birla putty. Exterior double coat plaster With Ultima Paint.
Oil Paints on all grills and railing.

WATER SUPPLY

Underground and overhead tank 24 hours water supply.

ELECTRIFICATION

Concealed copper wiring. Branded quality modular switches with sufficient electric point & A.C point.

DOORS

Elegant entrance veneer door and flushed internal laminate door.

PLUMBING

Jaguar / SERA or Equivalent