



KESHAV
GROUP

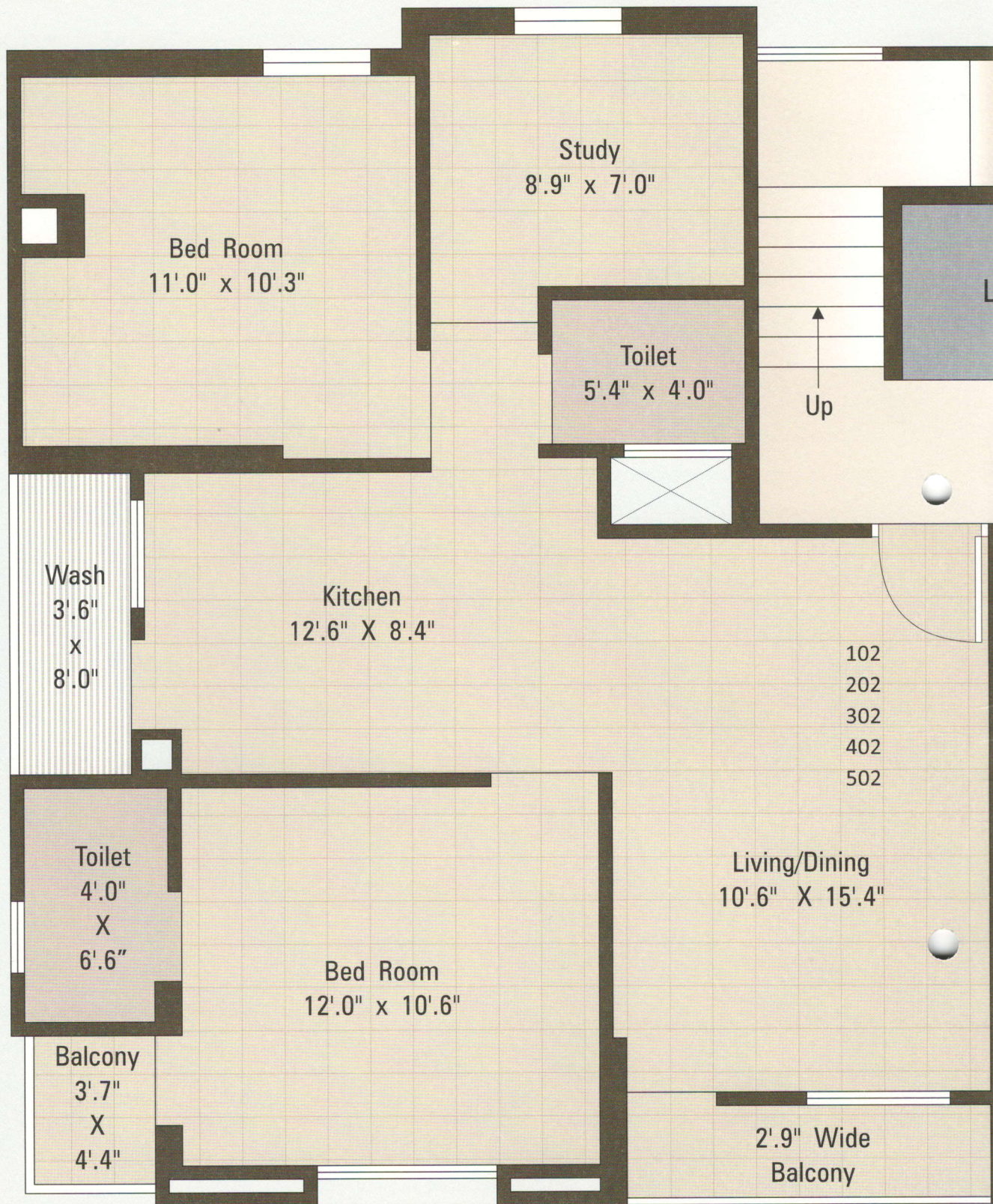


KESHAV RESIDENCY

3-BHK LUXURIOUS FLATS



Typical Floor Plan (1st to 5th)

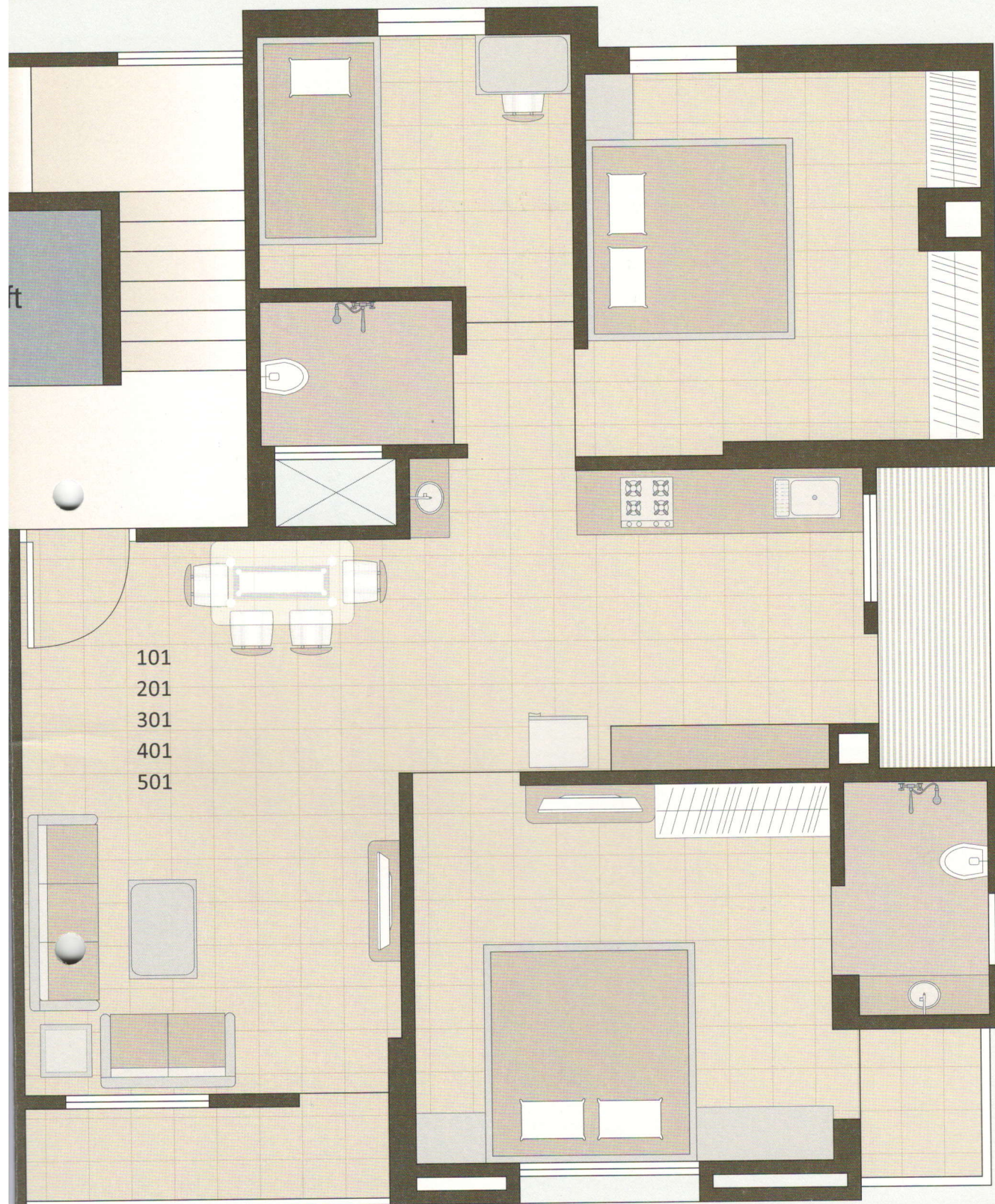


SPECIFICATIONS....

- Structure** : Earthquake resistant RCC frame structure as per structure design
- Finishing** : Internal smooth plaster, putty with primer & External plaster with acrylic paint
- Flooring** : Vitrified tiles flooring in all rooms
- Doors** : Elegant entrance door, Internal flush door with laminate & standard hardware fitting
- Windows** : Color Anodized Aluminum windows and natural stone sills with mosquito net
- Kitchen** : Granite platform with SS Sink & premium branded wall tiles dedo upto door level
- Bathroom** : Designer tiles upto door level with standard quality C.P. Fittings
- Electrification** : Concealed ISI mark copper wiring with Good quality modular switches

Builtup : 800 sq.ft.

S.B.A. : 1320 sq.ft.



AMENITIES....

Electric Gyzer point in all bath room

Standard quality Lift

Ac. point in master bed room

R.O. sysyem in all unit

Sufficiant car parking for residents

Brickbat water proofing treatment on terrace




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Developers :

KESHAV ENTERPRISE
M. : 84888 99337, 99251 00774

Site :

**Bh. Satyanarayan Township,
 Koyli Road, Undra, Vadodara.**

Architect :
 Forum Architect

Structure :
 Nitin Sidhpura

We Request....

- Documentation charges, stamp duty, all municipal taxes charges, Development charge & service tax should be separate. common maintenance charges will be extra. - Any additional charges or dutier levied by the central or state government/local authorities during or after the completion of the scheme will be borne by purchaser - Architect/Developers shall have the right to change or raise the scheme or any details herein and any change or revision will be binding to all. - In case of booking cancellation amount will be refunded from the booking of the same premises, after deduction of administrative expenses & a continuous default parment leads to cancellation. - Each puchaser / allotee will bear municipal taxes from the date of registration / possession certificate received. - In dealt of VMSS/MGVCL activity shall be united faced & in case of sort supply of water, member shall manage at their own cost. - Extra work shall be executed after making full payment. - Continuous default payments leads to cancellation - Possession will be given after one month of settlement of all accounts.- Elevation alteration will be not allowed in any circumstances. - Terrace rights will be bound to developers only. - This brochures is does not a legal document it is the only for illustrative purpose.

Mode of Payment : - 25% Booking - 15% 1st Slab - 10% 2nd Slab - 10% 3rd Slab - 10% 4th Slab - 10% 5th Slab - 15% Plaster - 5% Finishing