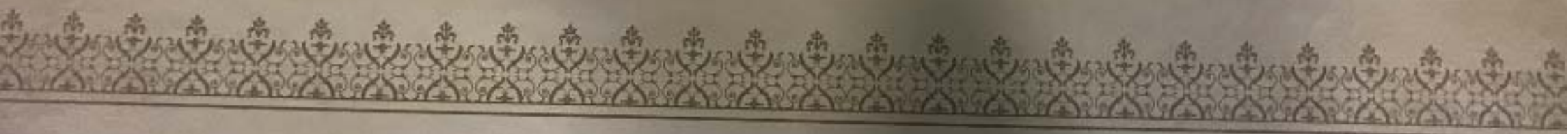




PRACHI

BUNGLOWS

Opulent, Stately, Inspiring...let the good life begin!





PRACHI BUNGLOWS

ENJOYING TOGETHERNESS IS A JOURNEY
BONDING IS AN INEVITABLE RESULT...



SPECIAL AMENITIES

- Fully developed common plot with landscaped garden.
- Club House, Children Park
- Jogging track.
- Senior Citizen Park, Garbage
- Elegant Decorative main gate with society boundary wall.
- RCC Tarmac Internal Road with both side Paver Block.
- Street light with underground cable.

SPECIFICATIONS

Structure : All RCC & brick masonry works as per structural engineer's design.

Flooring : Vitrified flooring in all rooms.

Kitchen : Black granite kitchen platform with S.S. sink & white Glazed tiles upto lintel level.

Toilet : Designer bathrooms with premium fittings & sanitary, glazed tiles upto up to lintel level.

Doors & Windows : Decorative main door with fittings & all internal doors will be good quality flush doors. Aluminium section windows with safety grill.

Electrification : Coordinated wiring of approved quality, sufficient electrical points as per architect's plan.

Plumbing : Coordinated plumbing with standard quality of fittings.

Wall Finish : Inside smooth plaster with distemper & Outside surface to be painted with weather-resistance paint.

Water : Underground & overhead tanks, Individual R.O. system.



GROUND FLOOR PLAN



A TYPE
FIRST FLOOR PLAN



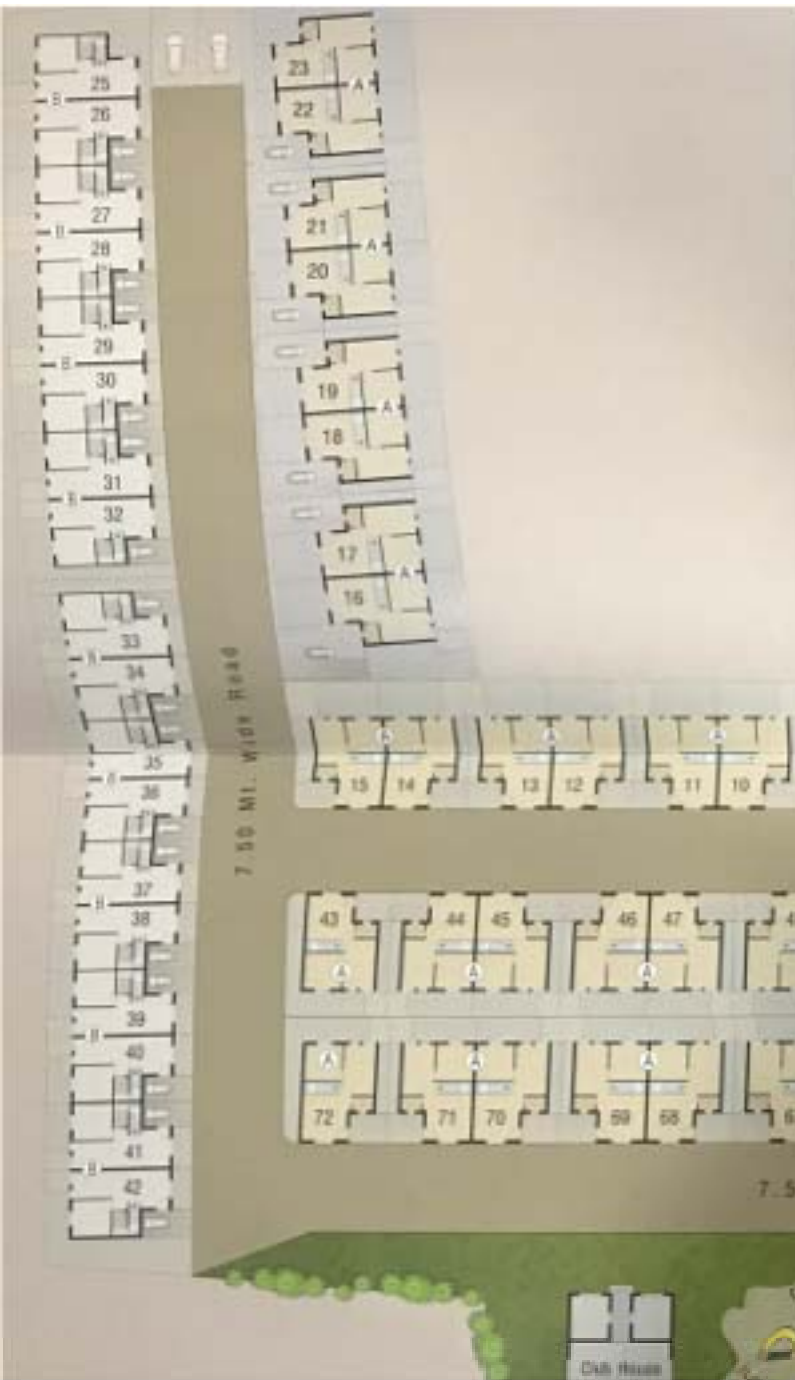


GROUND FLOOR PLAN



B TYPE FIRST FLOOR PLAN





LAYOUT PLAN





LOCATION PLAN

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Developers:

Pavan Corporation

Site:

Opp. Voltamp, B/h., Basil School, Jambuva Crossing, Vadodara.

Tel.: 0265 - 6452233

Architect: Disha Architect

Structure: Zama Associates

Notes...

- Architect/Developer Reserves all Rights to make any change in the project including Technical Specification Design, Elevation, Planning & Layout etc. - Possession will be given after one month of settlement of all accounts. - Extra work will be executed after receipt of full advance payment. - Development charge and common maintenance Deposit should be paid extra. - Stamp Duty, MGCL charges, Registration Charge, Service Tax or any new Central or State Govt. taxes, if applicable shall have to be borne by client. - In case of Delay in Payments more than the two weeks interest at the Rate of 24% Per Annual shall be Applicable for delay period, delay or defaulted payments shall lead to Cancellation of Booking without prior Notice. (without interest) - In case of Cancellation of Booking, Refund shall be given after 30 days from the date of Booking of New clients for respective unit only (without interest) - Water and drainage facility shall be given as per rules and regulations of VUDA in case of delay in water or drainage connection (member shall manage at their own cost. (Boring water will be given & Septic tank will be provided) - All members shall have to essentially be the part of the society formed by the association members and shall have to abide by the society law. - After completion of the work all the repair and the maintenance like drainage, watchman salary, gardening, electricity bill etc shall be borne by society members. - Any plans, specification or information in this Brochure cannot form part of an offer, contract or agreement. Subject to Vadodara Jurisdiction.

