



**Radhe**  
Avenue

**2 BHK LUXURIOUS FLAT**

**MANORATH REALTY LLP**

*P. T. Patel*

**Partner**

## TYPICAL FLOOR PLAN (1st to 8th)



### AMENITIES....

- Adequate parking space with decorative paving
- Elevator of approved quality
- Indian water proofing treatment on the terrace
- Building's Borewell with under-ground & over-head water tank

### SPECIFICATIONS....

#### STRUCTURE :

R.C.C. earthquake resistance frame structure.

#### WALL FINISHES :

Interiors : Birla white cement putty & acrylic emulsion

Exteriors : Double coat plaster with weather resistant paint

#### ELECTRICALS :

Concealed copper ISI wiring with modular switches

AC concealed conducting in master bedroom

#### DOOR :

Decorative main door Internal Flush door with Laminates and locks

#### WINDOWS :

Powder coated anodized aluminum sliding windows

#### FLOORING :

Vitrified Tiles flooring in rooms

#### KITCHEN :

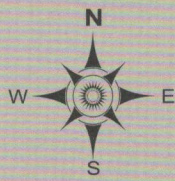
Granite Platform with S.S. sink, designer tiles dedo

#### BATHROOMS :

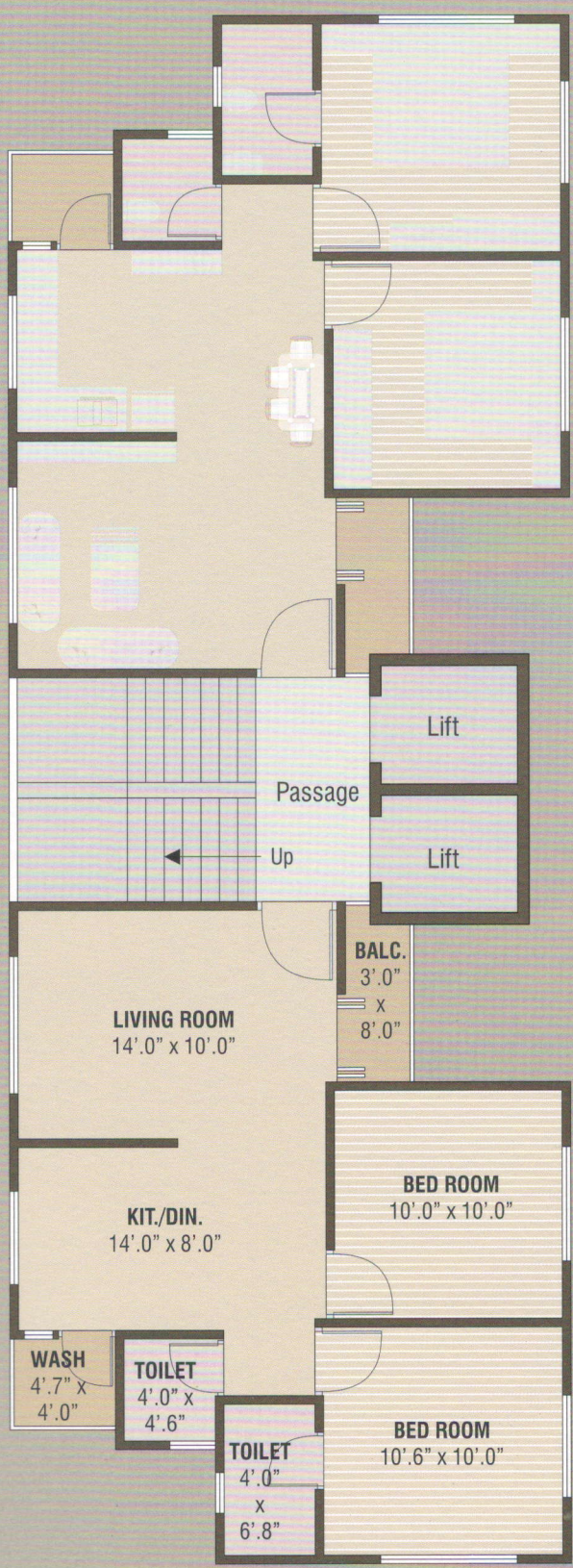
Designer toilets with premium CP fittings full height designer tiles

#### TERRACE :

Water proofing with china mosaic flooring height designer tiles



- 102
- 202
- 302
- 402
- 502
- 602
- 702
- 802



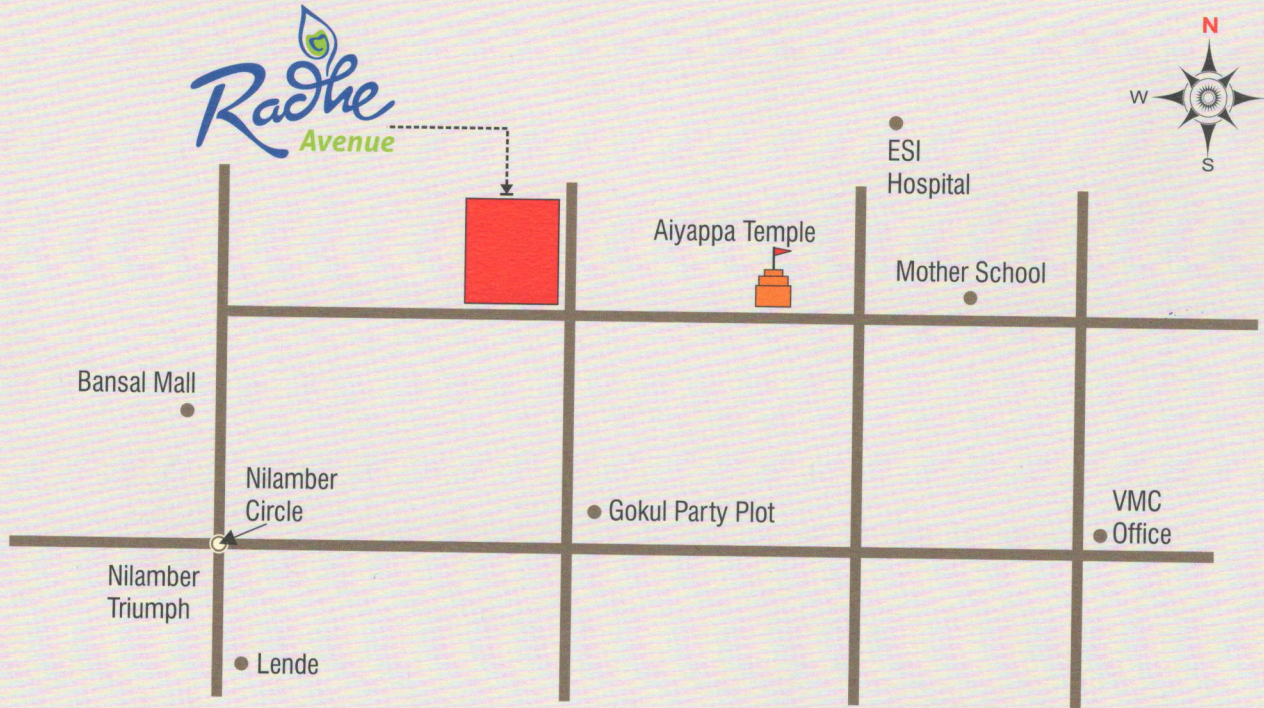
- 101
- 201
- 301
- 401
- 501
- 601
- 701
- 801

7.50 MT. WIDE ROAD



12.00 MT. WIDE ROAD

Key Plan



Developers :

**Manorath Realty LLP**

Call:

99989 74874, 63549 28672

Site :

**Radhe Avenue,**  
Ashutosh Park,  
B/h., Gokul Party Plot,  
Nr. Nilamber Circle,  
Vasna Road, Vadodara.

ARCHITECT



Ruchir Sheth (Design Studio)  
architects & interiors

Structure:

Zarna Associates

**Mode of Payment :**

- 10% Booking - 15% Plinth - 10% 1st Slab - 10% 2nd Slab - 10% 3rd Slab
- 10% 4th Slab - 5% 5th Slab - 5% 6th Slab - 5% 7th Slab - 5% 8th Slab - 10% Plaster - 5% Finishing

**Notes**

DISCLAIMER : All furniture/objects shown in the plan are for presentation & understanding purpose only, By no means, it will form a part of final deliverable products. • Premium quality materials or equivalent branded products shall be used for all construction work. • Right of any changes in dimensions, design & specifications will be reserved with the developer, which shall be binding for all members. • External changes are strictly not allowed. • Documentation & Development charges, Stamp Duty, GST, MGCL meter deposit should be levied separate. • Each member needs to pay maintenance deposits separately. • In case of booking cancellation, amount will be Refunded from the booking of same premises and minimum of rupees 50000/- will be deducted from the booking amount • In case of delay of water supply, Light connection, Drainage work by VMSS/MGCL Developers will be not responsible • Possession will be given after one month of all settlement of account. • Extra work will be executed after receipt of full advance payment • The developer reserve the full right to make any changes. • This brochure does not form a part of agreement or any legal document, It is easy display of project only. • Right of any changes in design and specifications, elevation will be reserved with the developers.