

Rajiya Park residency



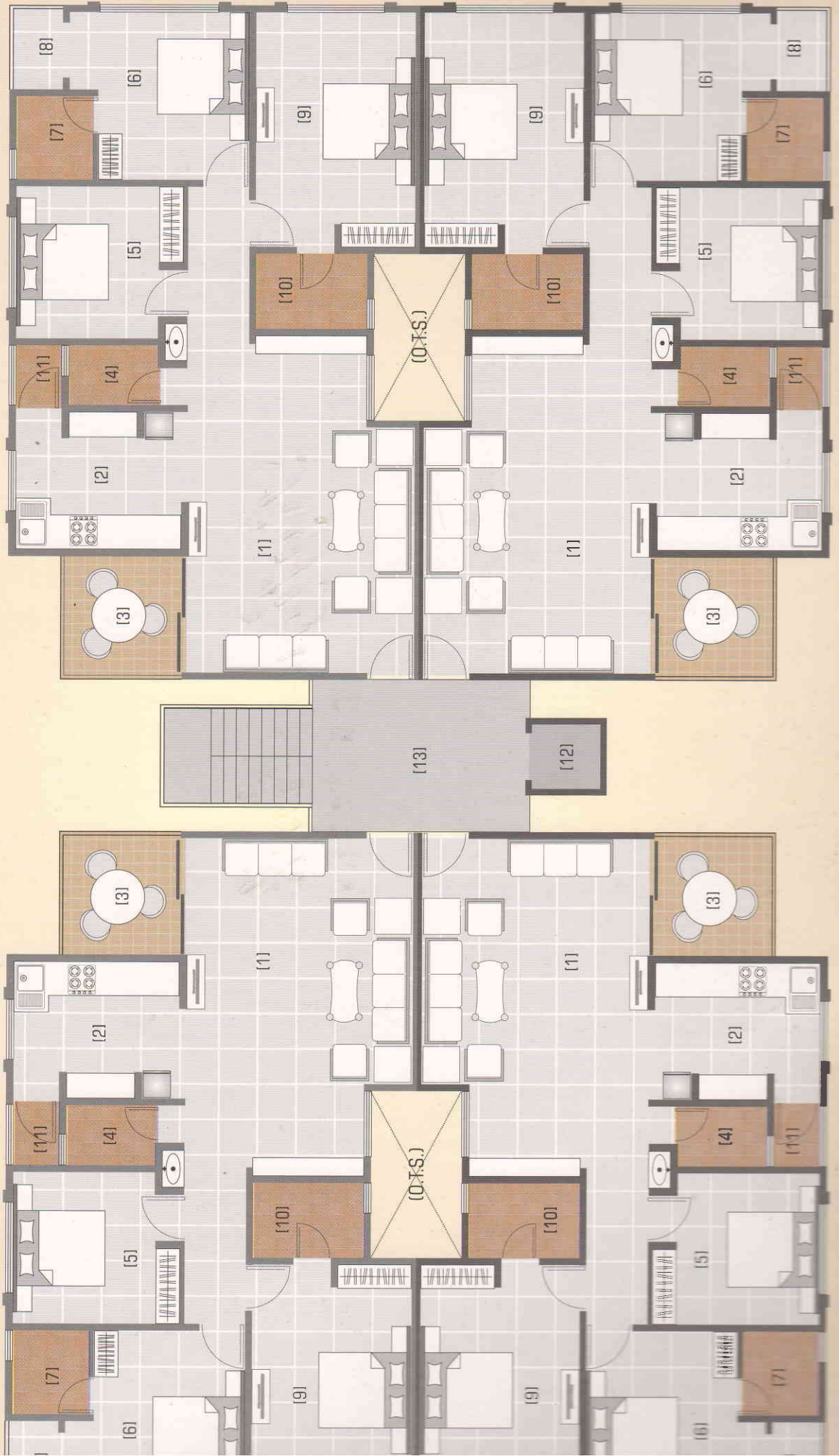
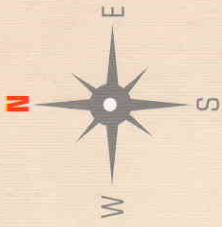
BHK Flats & Penthouses

High Scale Apartments in the City

TOWER - A (3-BHK)
TYPICAL FLOOR PLAN FOR
2nd, 3rd & 4th FLOOR

LEGEND

[1]	LIVING / DINING	15.0" X 22.0"	[6]	BED ROOM-2	12.0" X 11.0"	[11]	WASH AREA	3.6" X 4.0"
[2]	KITCHEN	11.0" X 9.0"	[7]	A. TOILET	5.6" X 5.0"	[12]	LIFT	5.0" X 5.0"
[3]	BALCONY	8.0" X 8.0"	[8]	BALCONY	5.6" X 3.6"	[13]	PASSAGE	14.0" WIDE
[4]	C. TOILET	6.0" X 4.0"	[9]	BED ROOM-1	15.5" X 10.6"			
[5]	BED ROOM-3	11.0" X 10.0"	[10]	A. TOILET	7.6" X 5.0"			





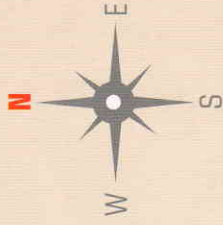
TOWER - A

5th FLOOR PLAN

PENTHOUSE

LEGEND

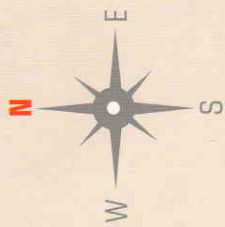
[1]	LIVING	22'.0" X 18'.6"	[6]	A. TOILET	5'.6" X 5'.0"	[11]	FAMILY LOUNGE	16'.0" X 12'.0"
[2]	KITCHEN	11'.0" X 9'.0"	[7]	BED ROOM-1	15'.5" X 14'.0"	[12]	LIFT	5'.0" X 5'.0"
[3]	C. TOILET	6'.0" X 4'.0"	[8]	A. TOILET	7'.6" X 5'.0"	[13]	PASSAGE	14'.0" WIDE
[4]	BED ROOM-3	11'.0" X 10'.0"	[9]	WASH AREA	3'.6" X 4'.0"	[14]	OPEN TERRACE	-----
[5]	BED ROOM-2	12'.0" X 11'.0"	[10]	M. BED ROOM	15'.5" X 14'.0"			





RAFIYA PARK
RESIDENCY

UNIT - B (2-BHK)
FLOOR PLAN FOR
2nd & 3rd FLOOR



LEGEND					
[1]	LIVING / DINING	19'.0" X 14'.6"	[6]	A. TOILET	6'.9" X 5'.0"
[2]	KITCHEN	11'.0" X 8'.0"	[7]	BED ROOM-2	12'.0" X 11'.0"
[3]	BALCONY	11'.6" X 3'.0"	[8]	BALCONY	11'.6" X 4'.0"
[4]	BED ROOM-1	11'.0" X 10'.0"	[9]	LIFT	5'.0" X 5'.0"
[5]	C. TOILET	6'.9" X 5'.0"	[10]	PASSAGE	8'.0" X 7'.0"





TOWER - B

5th FLOOR PLAN FLAT & PENTHOUSE LOWER LEVEL



[1]	LIVING / DINING	19'.0" X 14'.6"	[6]	C. TOILET	6'.9" X 5'.0"
[2]	KITCHEN	11'.0" X 8'.0"	[7]	OPEN TERRACE	12'.0" X 11'.0"
[3]	BALCONY/WASH	11'.6" X 3'.0"	[8]	BALCONY	11'.6" X 4'.0"
[4]	BED ROOM-1	11'.0" X 10'.0"	[9]	LIFT	5'.0" X 5'.0"
[5]	A. TOILET	6'.9" X 5'.0"	[10]	PASSAGE	8'.0" X 7'.0"



[1]	LIVING / DINING	19'.0" X 14'.6"	[6]	A. TOILET	6'.9" X 5'.0"
[2]	KITCHEN	11'.0" X 8'.0"	[7]	BED ROOM-2	12'.0" X 11'.0"
[3]	BALCONY	11'.6" X 3'.0"	[8]	BALCONY	11'.6" X 4'.0"
[4]	BED ROOM-1	11'.0" X 10'.0"	[9]	LIFT	5'.0" X 5'.0"
[5]	C. TOILET	6'.9" X 5'.0"	[10]	PASSAGE	8'.0" X 7'.0"

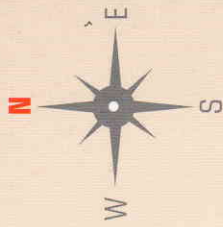


PENTHOUSE

FLAT

TOWER - B

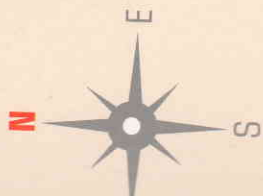
4th & 5th FLOOR PLAN FLAT & PENTHOUSE UPPER LEVEL

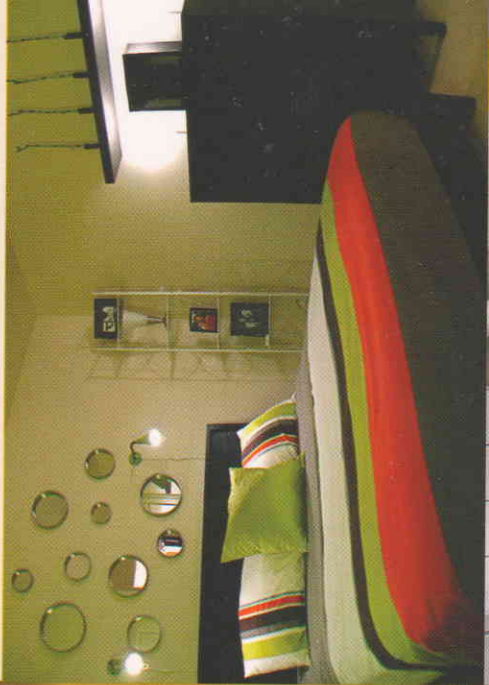


FLAT LEGEND					
[1]	LIVING / DINING	19'.0" X 14'.6"	[6]	A. TOILET	6'.9" X 5'.0"
[2]	KITCHEN	11'.0" X 8'.0"	[7]	BED ROOM-2	12'.0" X 11'.0"
[3]	BALCONY/WASH	11'.6" X 3'.0"	[8]	BALCONY	11'.6" X 4'.0"
[4]	BED ROOM-1	11'.0" X 10'.0"	[9]	LIFT	5'.0" X 5'.0"
[5]	C. TOILET	6'.9" X 5'.0"	[10]	PASSAGE	8'.0" X 7'.0"

PENTHOUSE LEGEND				
TERRACE	10'.9" X 6'.6"	[16]	BALCONY	11'.6" X 4'.0"
RM-1	16'.0" X 10'.0"	[17]	LOUNGE	8'.0" X 7'.0"
LET	8'.0" X 5'.0"			
LET	8'.0" X 5'.0"			
RM-2	12'.9" X 11'.0"			







SPECIFICATIONS & AMENITIES

STRUCTURE: Well Designed EQ Resistant RCC frame structure using superior quality materials, as per structural engineers design.

FLOORING: Good Quality Vitrified flooring in entire apartment & ceramic flooring in Balcony.

WINDOWS: Powder Coated Aluminum section windows with good quality glass.

DOORS: Elegant Entrance Door and Flushed Internal Door with latch High Quality locks.

PLUMBING: Concealed CPVC Plumbing with Excellent Quality ISI BRANDED plumbing layout (as per professionals specification).

KITCHEN: Good quality Granite platform with S.S. Sink and 3' - 0" height designer dado tiles in Kitchen.

TOILETS: Designer Toilets with designer tiles and Branded premium quality bathroom fittings, sanitary ware & glazed tiles.

WATER SUPPLY: Underground And Overhead Tanks For 24 Hours Water Supply With Auto Control Mechanism.

ELECTRICAL: Branded ISI Concealed Copper wiring with required MCB in each apartment and Elegant Switches.

PAINT: Weather Coat paint in exteriors & Decorative premium paint in interiors.

SECURITY: Security Cabin with 24 Hr security system.

ES

High Quality Security System.

Lush Garden with Children Play Area.

Underground and overhead tanks for 24 hours water supply.

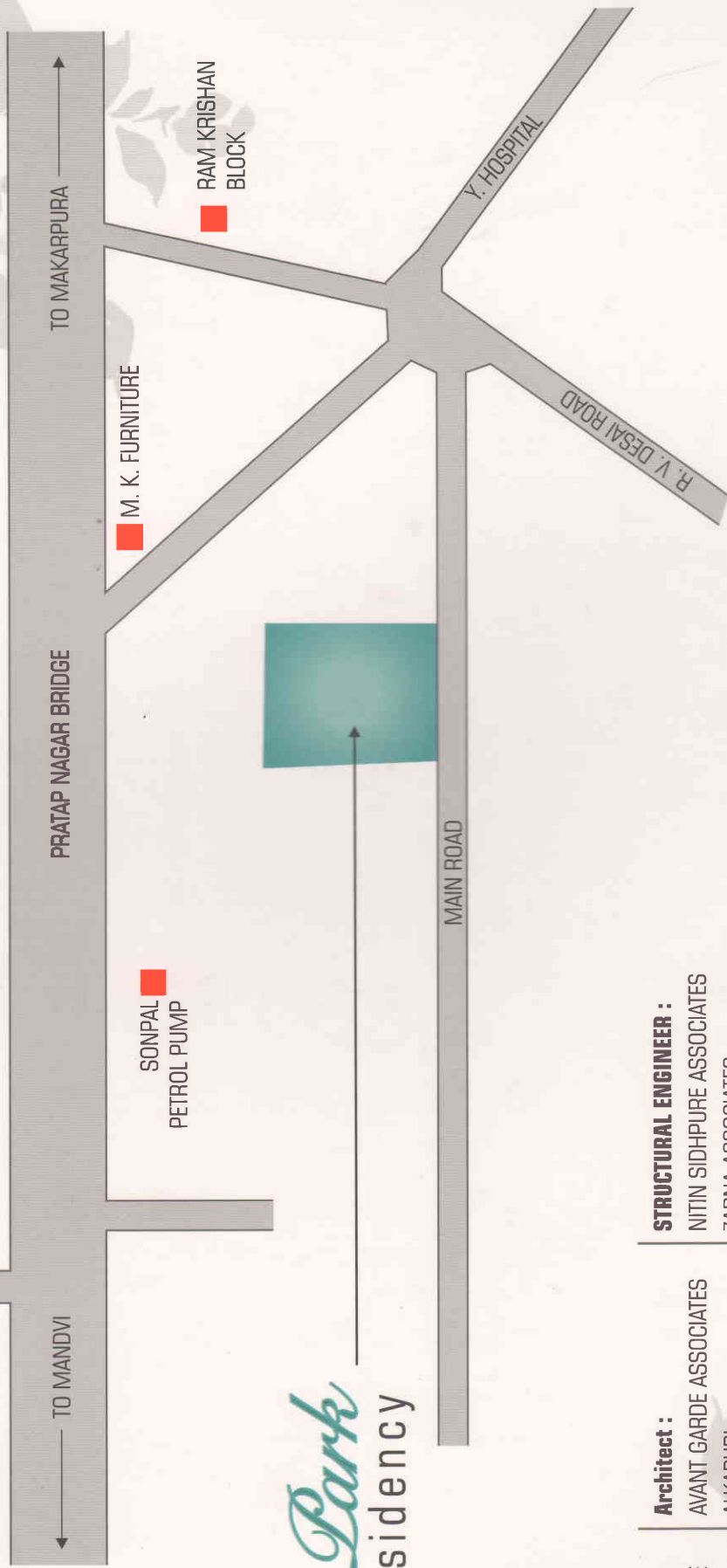
Minimum quality with Hi-Tech technology.

Water Proofing treatment on the Terrace.

Anti-termite treatment.

Spacious & Adequate two Wheeler Parking Space.

KEY PLAN



Sriya Park residency

Architect :
 ANFRAGON COMBINE
 ELIOPERS

Architect :
 AVANT GARDE ASSOCIATES
 ALKAPURI
 BARODA

STRUCTURAL ENGINEER :
 NITIN SIDHPURE ASSOCIATES
 ZARNA ASSOCIATES
 BARODA

: SITE :
 Pratapnagar Bridge, Pratapnagar, BARODA - 390 004

: OFFICE :
 15, Sampatnagar Colony, BPC Road, Alkapuri, BARODA

: CONTACT NOS. :
 60315 / 98251 58993 / 94090 29775 / 93776 65662

NOTES :

- Possession of apartments shall be provided one month after the completion of construction and settlement of due payments to the developers.
- Document charges, agreement expenses and maintenance deposit shall be charged separately.
- Changes/alterations/additions in construction/specifications extra work charges shall be separate and to be paid fully advance.
- Light, Water Supply, Drainage official connection shall be provided subject to allowance of concerned department. The amount of line expenditure shall be charged separately.
- Rights of changes/alterations in plan, elevation, FSI statements, specifications shall lie solely with the architects/developers.
- On cancellation of booking of any premises, 20% of the total amount paid by the booking person shall be refunded and rest amount shall be refunded after new booking of the same premises is established.
- Association shall be formed between all members of the complex and the members shall be bound by the rules & regulations of the association.
- This brochure is not a legal document, it is easy display of the project.