



SPECIFICATION

Structure

ALL RCC & Masonry work as per structural Engineer's design.
Elevation work as per Architect Design

Flooring

Vitrified Tiles flooring in all rooms.
Passage area & Stair case with vitrified tiles.

Doors & Windows

Attractive Entrance Door with Granite frames in all doors and standard quality safety lock and flush door with both side decorative laminate, Fully Glazed aluminum powder coated windows.

Kitchen

Granite platform with S.S Sink & designer tiles upto slab level.

Toilet

Designer Glazed tiles fitting up to lintel levels Standard quality sanitary wares & fittings. Concealed internal plumbing with hot water points.

Electrical

Concealed wiring of standard quality with TV, AC points in all bedrooms & living room.

Paint & Finish

Internal : smooth cement plaster with putty and primer.
External : Double coat plaster with standard quality of paint

Developer : DEV INFRA

Address
Shilp Serene, B/h Rudra Enclave,
Near Chhani Lake, Chhani,
Vadodara - 391740

Email : shilpserene38@gmail.com
Mobile : 9737900749

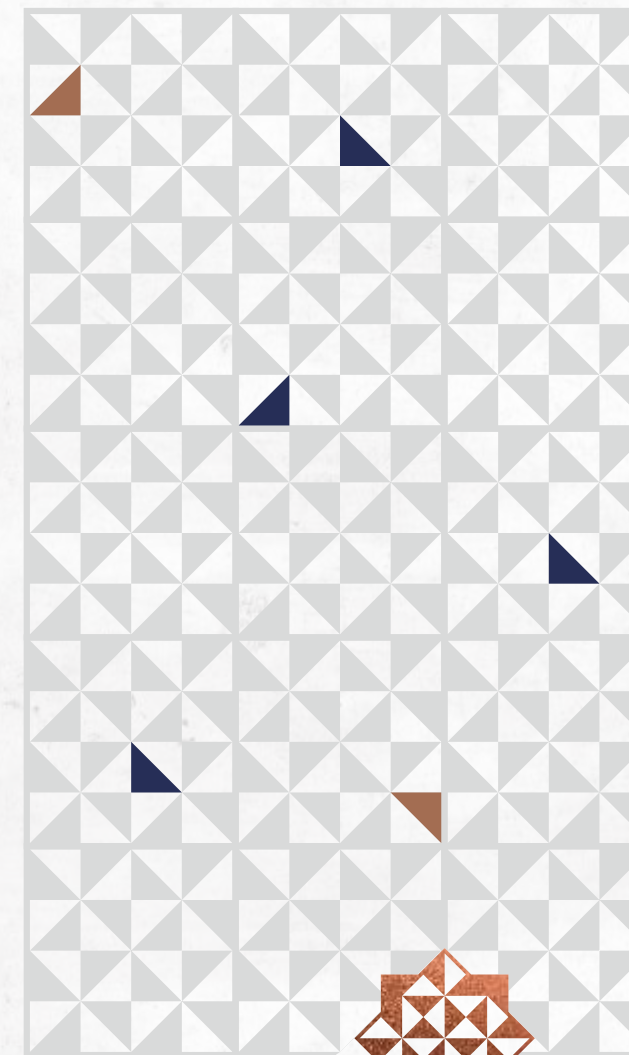
ARCHITECT

ASQUARE
ARCHITECTURE & INTERIORS
KETAN PATEL

STRUCTURE



1. The following will be charged extra in advance / as per government norms: (a) Stamp Duty & Registration Charges, (b) GST, Service tax, VAT or any such additional government taxes if applicable in future. (c) Maintenance Deposit, (d) Deposit for New Electric Connection. (e) Infrastructure development charges. 2. If any new tax applicable by Central or States Government or Local Govt. Body in future, it will be borne by the buyers / members. 3. Possession will be given only after two months of settlement of all accounts and MGVL connection. 4. Continuous default in payments leads to cancellation. The developers reserve all the rights to change the plan, elevation, specification or any details will be binding to all. 5. In case of delay in water supply, light connection, drainage work by the concerned authority, developers will not be responsible. 6. Developer will not be responsible for any damage or late possession due to natural calamities. 7. Changes in any structural design & changes in any external facade will not be permitted under any circumstances. 8. Internal changes will only be permitted with prior permission & advance payments. 9. Outdoor AC units will be fitted as per provision provided in the designated placed by the Project Designer. 10. If any situation of cancellation occurs developers reserves the rights for refund. 11. This brochure is for information purpose only. It does not form a part of the agreement or any legal document. The developer retains the right to alter the specification without any consent of the member.



**SHILP
SERENE**

Live... The Way You Want

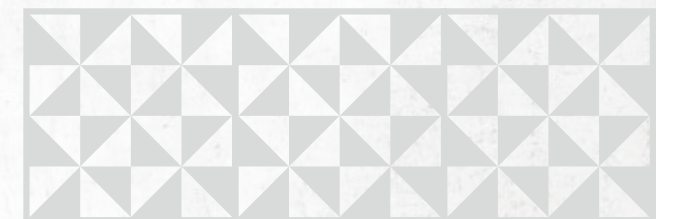
18.00 MT. WIDE MAIN ROAD

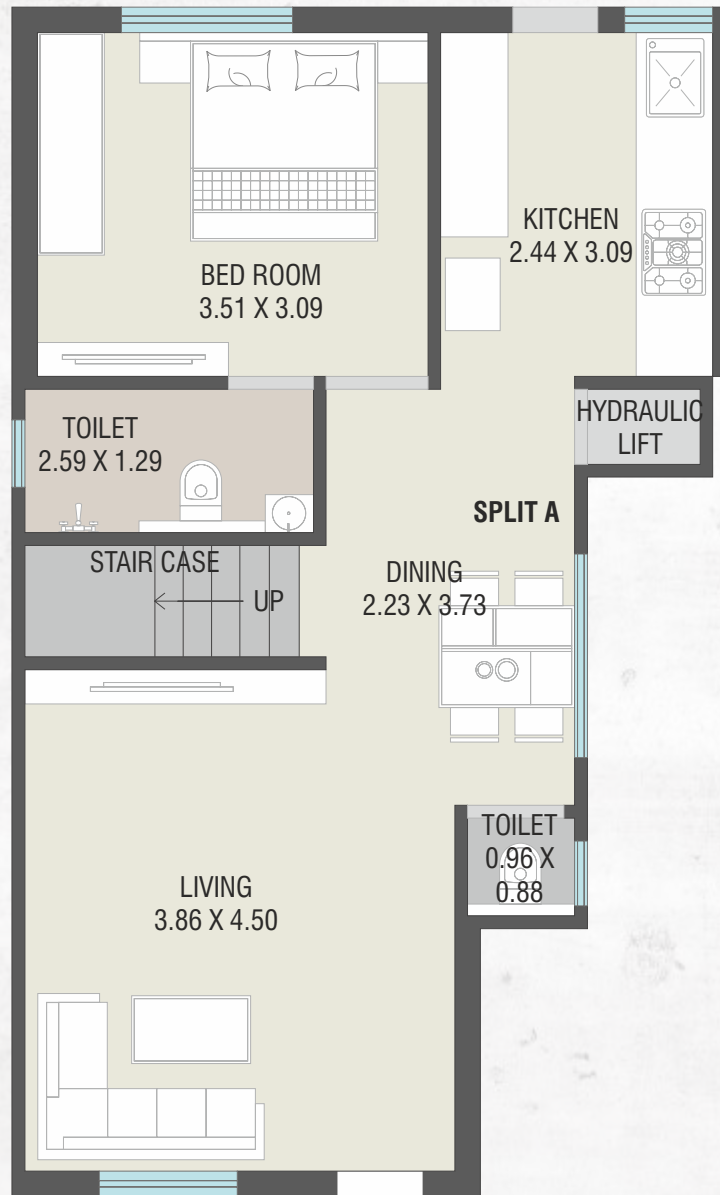


AMENITIES

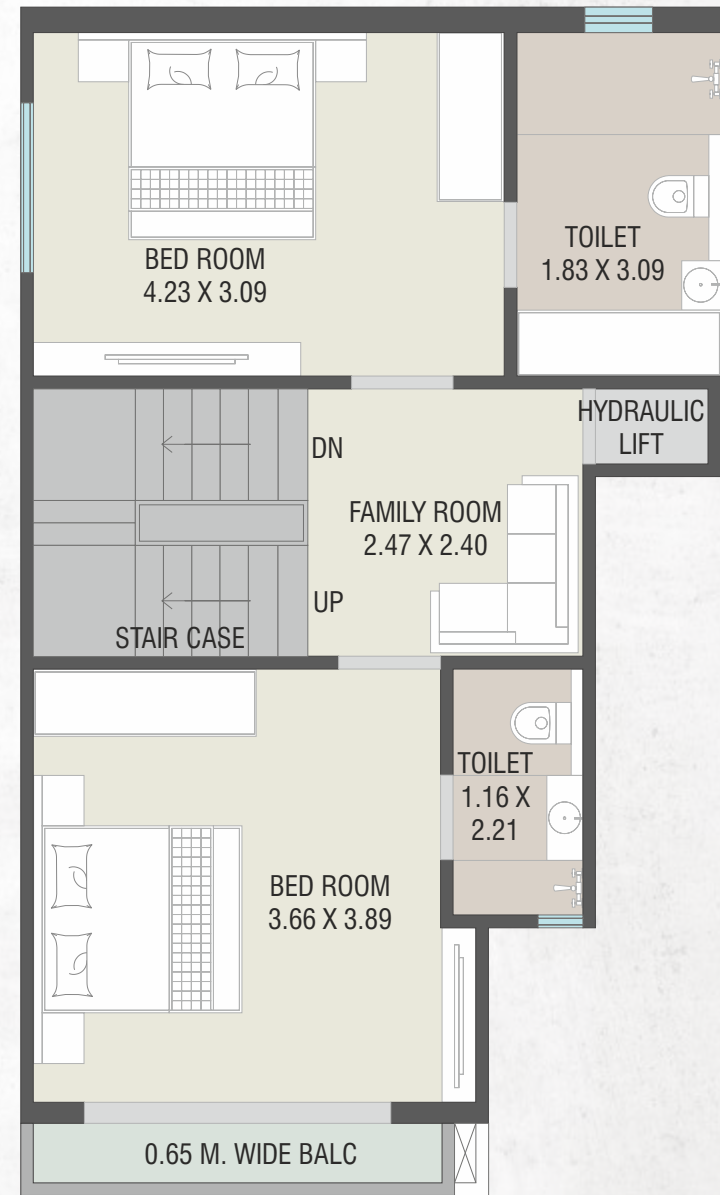
- Lush Garden
- Children Play Area
- Jogging Track
- Senior Citizens Sitting Area

LAYOUT PLAN

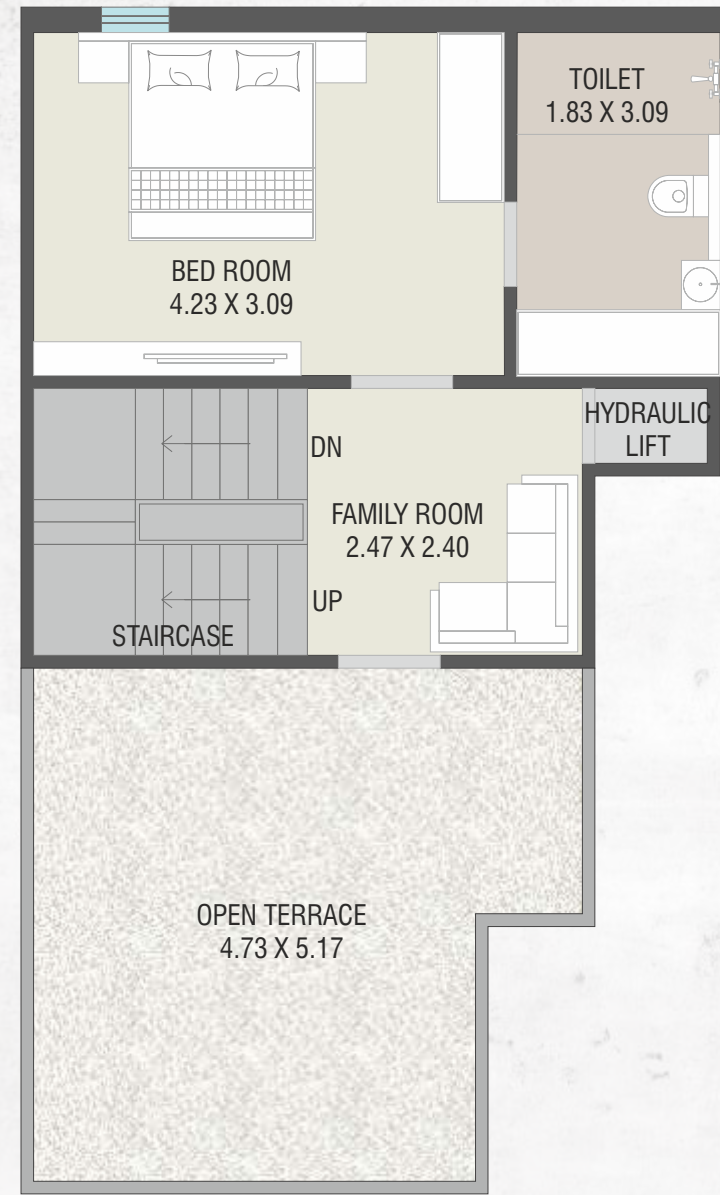




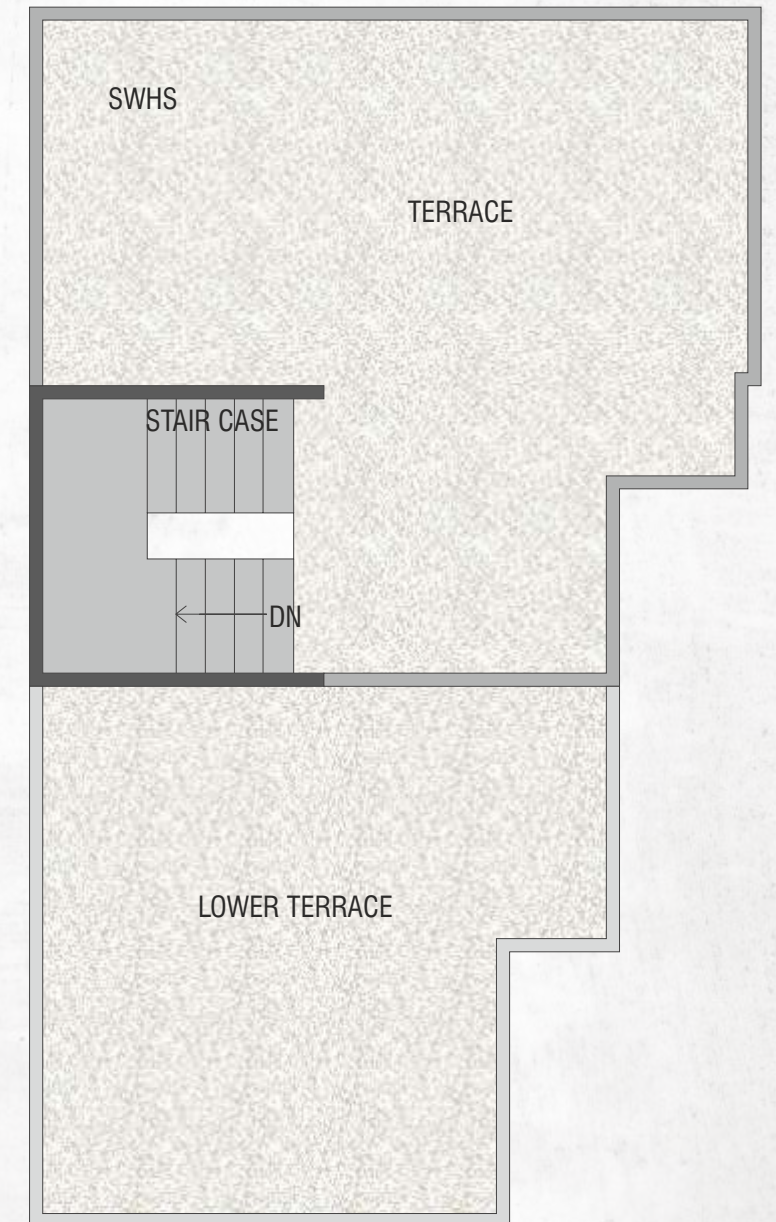
GROUND FLOOR PLAN



FIRST FLOOR PLAN

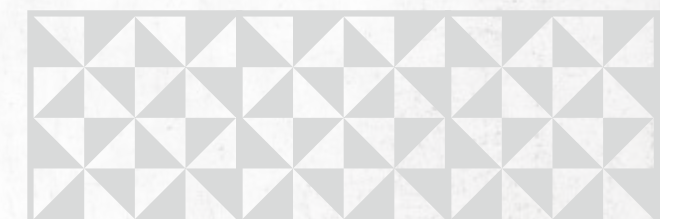


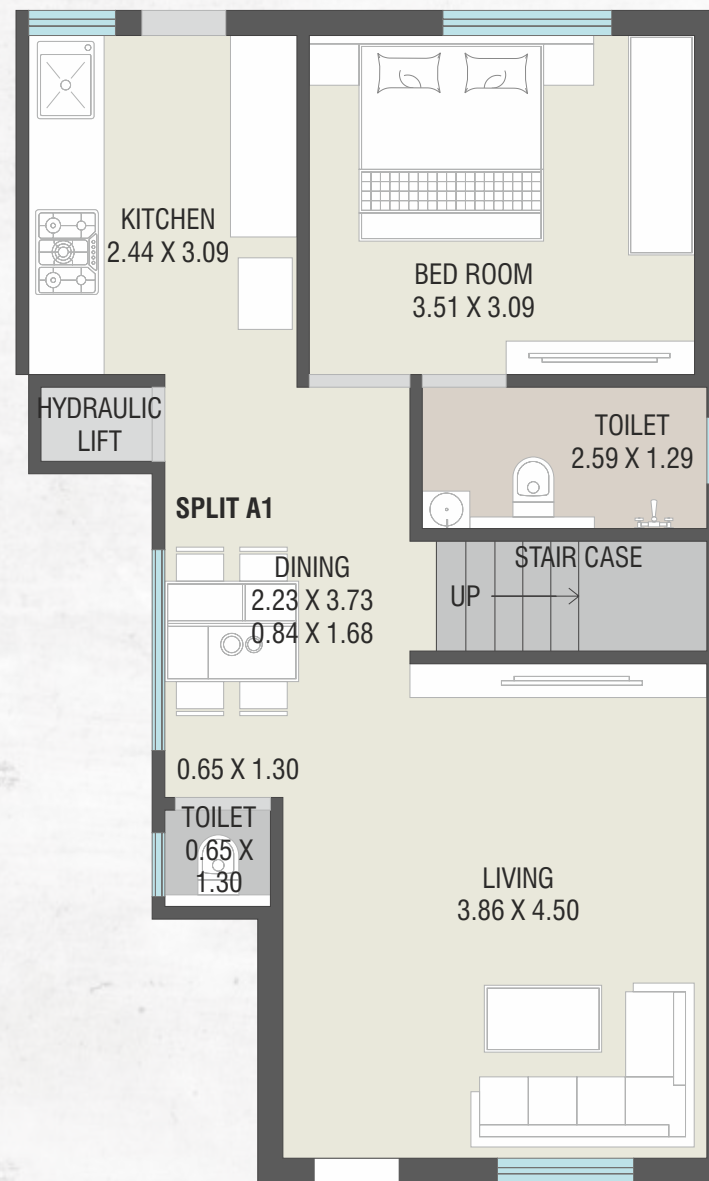
SECOND FLOOR PLAN



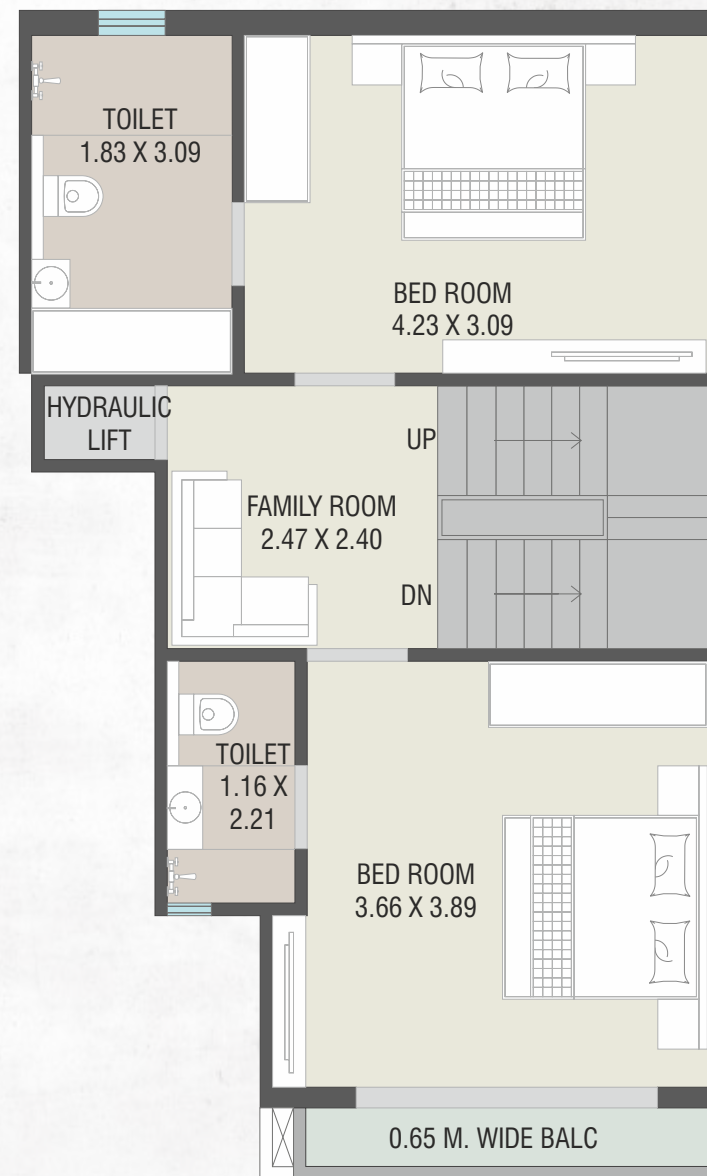
TERRACE FLOOR PLAN

TYPE A

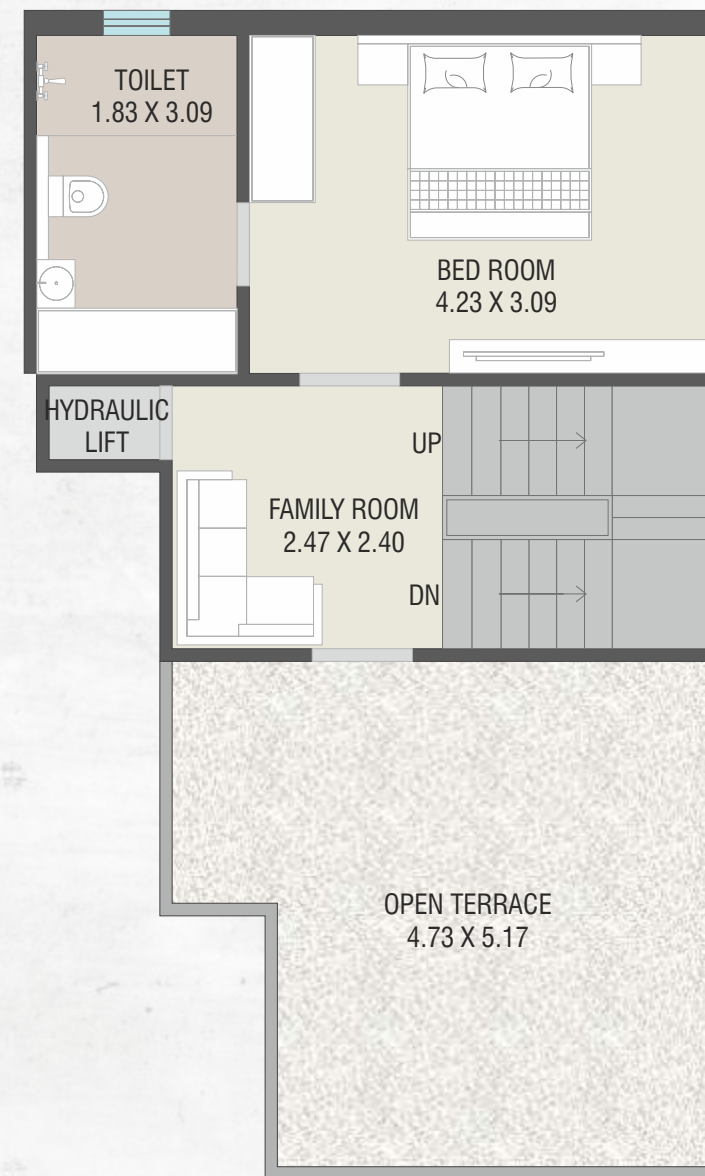




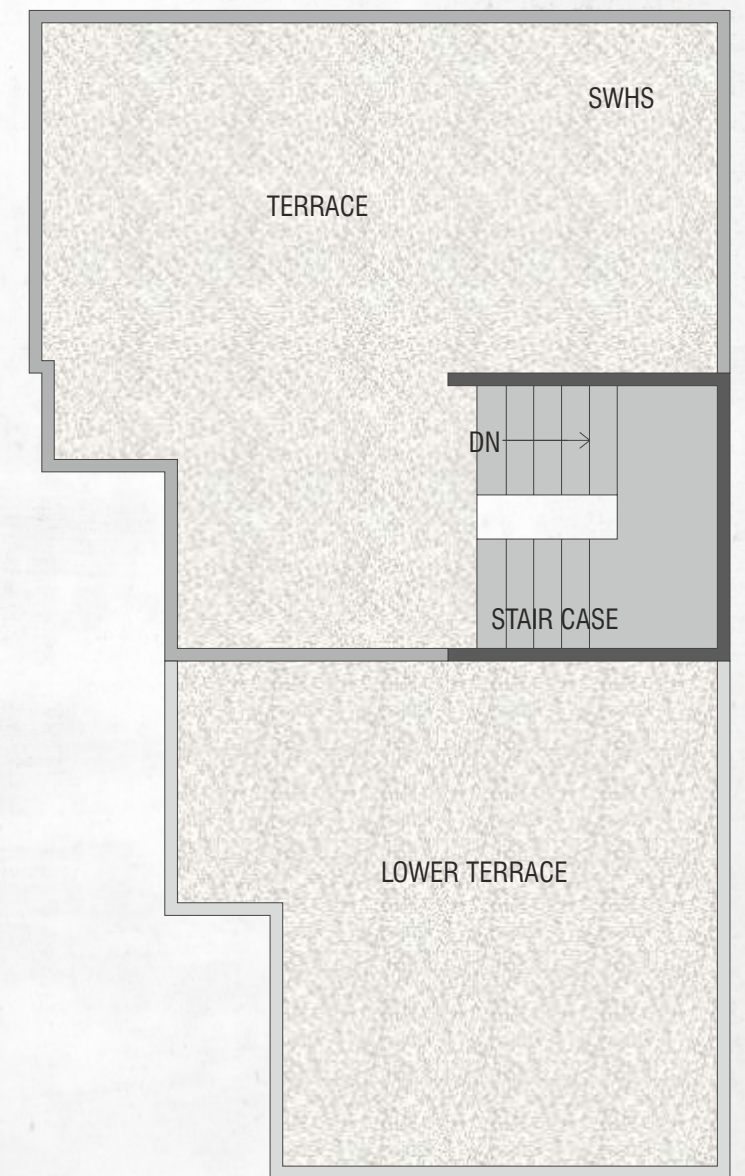
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



TERRACE FLOOR PLAN

TYPE A1

