



# Shivalik BUNGLOWS

4-BHK LUXURIOUS TRIPLEX











## *extraordinary lifesty*

Stretch your happiness to its ma

Stretch your imagination ti fi

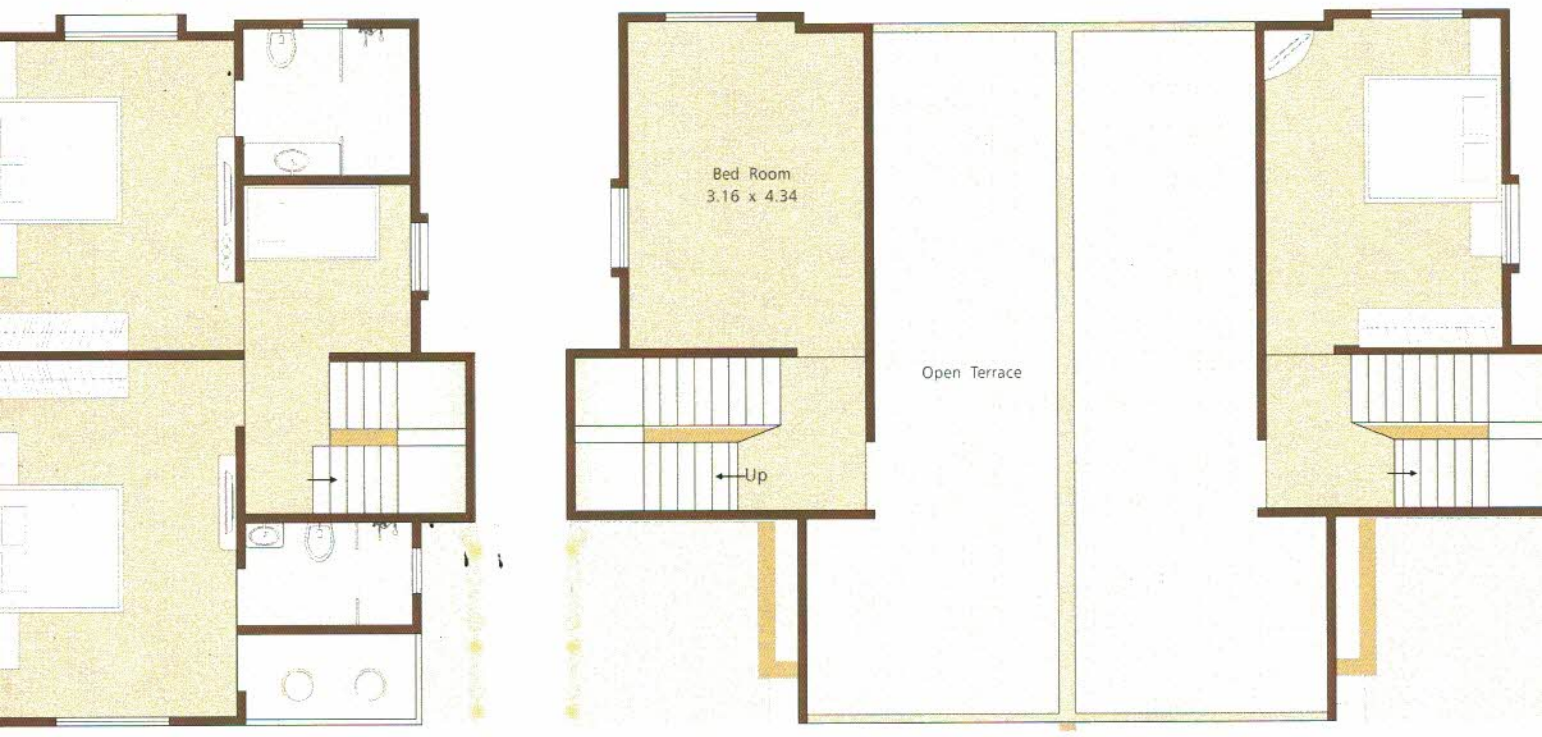
New home at Shivalik Bu

Come live life at its bounti

# Ground Floor Plan









## Aminities

- Main entrance gate
- Security cabin
- Club house
- Landscaped garden
- Children play area
- Compound wall
- Internal RCC road
- Streetlight
- R.O. system
- 24 hours water supply for common borewell

## Specifications

**Structure :** All R.C.C. & Brick masonry works as per structure engineer's design.

**Flooring :** 24" X 24" Vitrified flooring in all rooms with skirting

**Kitchen :** Granite kitchen platform with S.S. sink, with Designer Glazed tiles dedo upto lintel level.

**Doors :** Elegantly Designed main door and other doors are laminated flush door

**Windows :** fully glazed alluminium windows with safety bars.

**Electrification :** Concealed Copper ISI wiring with Moduler Switches with sufficient points as per architects details.

**Bath :** Ceramic tiles flooring & Decorative glazed tiles dedo upto lintel Level

**Plumbing :** Concealed plumbing CPVC/UPVC with good quality fittings

**Water :** Overhead & underground water tank with sufficient capacity

**Paint :** Inside walls smooth plaster with emulsion paint and outside surface acrylic painted

**Terrace :** Terrace finished water proof with china mosaic

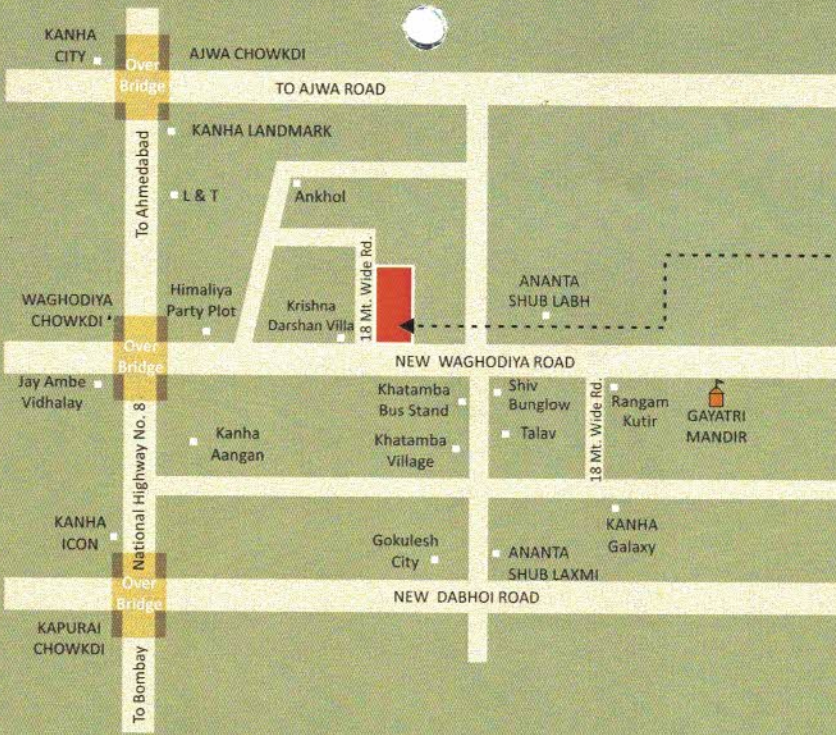
**Parking :** Checkerd tiles Flooring











**Shivalik**  
BUNGLOWS

Developers :

**SHIVALIK Real**

Site:

Bs. Krishna Darshan,  
New Waghodia Road,  
Khatamba, NH-8, Vadodara.

Contact:

**99798 97578**

**99798 47578**



Architect :

**Chirag Patel**

Architect & Interior Designer

Structural :

**Ashok Shah & Associates**  
Vadodara.

**We request...**

Possession will be given after one month of settlement of all accounts. Extra work will be executed after receipt of full advance payment. • Development charges (Light, Water & Drainage), Maintenance charges, Documentation charges, GST tax, Stamp Duty, Registration Charges, or new Central Govt, State Govt Taxes, VMSS Taxes if Applicable Shall have to be borne by client. 4) Architect / Developers Shall have the rights to change or revise the scheme or any details herein and change or revision will be binding to all. • Elevation, Alteration will not be allowed in any circumstances • Developers Shall have the right to change any details and will be binding to all • In case of delay in light connection, water connection & drainage connection by authority developers will not be responsible. • All dimensions are indicative and actual dimensions in each room might vary. • Plot area shown in list is as per site condition and may vary. • Common compound wall of individual all unit will be as per architect's design. • Refund (exclude tax) shall be given in case of cancellation of the booking within 30 days. The payment shall be refunded only after some premises is re-booked any payment for the same is received from the other customer. We shall deduct a minimum administrative charge of Rs. 25,000. • Any plans specifications or information in this brochure cannot form part of an offer, contract or agreement. • All members shall have to essentially be the part of the society formed by the association members and shall have to abide by the society by laws. • After virtual completion of the work all the repair and the maintenance like drainage, watchman salary, Borewell & Streetlight electricity bill or any amenities of common common plot maintenance etc. shall be borne by society members. • Members of society are not allowed to change elevation of Triplex in any circumstances. • Subject to Vadodara Jurisdiction.

**Mode of Payment...**

- 25% at Booking - 15% Plinth - 20% G.F. Slab - 20% F.F. Slab - 15% Flooring - 5% Finishing