

Shreenath® HEIGHTS

A PROJECT BY
Shreenath®
GROUP

Developers:
Shreenath Buildcon

Shreenath Heights,
B/h. Earth Ambrosia, Nr. Lillera Aashiana,
Sama Savli Road, Vadodara-390008.

Call for Inquiry: +91 99136 60225, 99741 32901

Email: shreenathheights@gmail.com
www.shreenathgroup.com

Architect: **Placekinesis Associates**, Ahmedabad

Structural Consultant: **Ashok Shah & Associates**

MEP Consultant: **Transenergy**, Ahmedabad

design: stroke&arrow-18 @ 9824092010



2 & 3 BHK APARTMENTS
3 & 4 BHK PENTHOUSES



A PERFECT ABODE FOR YOUR FAMILY!

Shreenath[®]
HEIGHTS was planned with the idea of creating a perfect living space for the elite residents of Vadodara. Located in the fast developing vicinity of Sama Savli Road, it is surrounded by new construction and good civic infrastructure.

Planned to offer a comfortable lifestyle to its residents, the 2-3 BHK Apartments & 3-4 BHK Penthouses shall suit your requirements perfectly. Spaciously planned and neatly finished, these living spaces shall be a sheer delight for our members.

A host of lifestyle amenities and leisure facilities add up to create a blissful living. This development comes from the **SHREENATH GROUP**, who have a name for their ethical business practices, quality construction and timely completion of projects.

An investment in Shreenath Heights shall be an



AMENITIES

R.O. System

Video Door Phone

Garden/Party Lawn

Senior citizen seating area

Children's Play Area

A.C multipurpose club house/party hall/T.V lounge

A.C Meditation Hall

Walkway

Alloted covered Car Parking

A.C Gymnasium

Round the clock Security

CCTV surveillance campus

D.G backup for common area/facilities

Decorative entrance foyer with waiting area

Decorative entry gate and compound wall

Wire free campus

24-hours Water supply

Fire fighting systems

A.C indoor game room

Branded high speed elevators

Anti termite treatment

Heat and water proofing treatment on terrace

Admin Office

Garbage duct



SPECIFICATIONS

Structure: Well designed RCC frame structure as per structural engineer's design.

Flooring: Vitrified flooring in living, dining, kitchen and all bedrooms.

Kitchen: Exclusive Granite platform with SS sink and designer tiles from flooring to beam bottom. Ceramic tiles dado and kotastone / anti-skid flooring for wash area.

Bathrooms: Designer wall tiles and anti-skid ceramic tiles flooring. Concealed CPVC plumbing with standard fittings & vessels. Powder coated aluminium ventilation.

Plumbing: Systematic wall concealed CPVC/UPVC plumbing as per plumbing consultant's design.

Doors: Decorative main door with standard safety lock and fittings. All other internal doors are flush doors with laminates.

Windows: Powder coated Aluminum section windows

Electrification: Concealed copper ISI wiring, MCB/ ELCB & branded modular switches. Electrical points in all rooms as per architect's drawing.

Air-Conditioning: AC Copper Piping and wiring in all bedrooms & living room.

Finishing: Smooth plaster with distemper paint on internal walls, Texture finish on external walls





18 MT WIDE ROAD



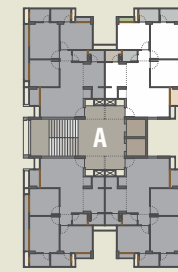
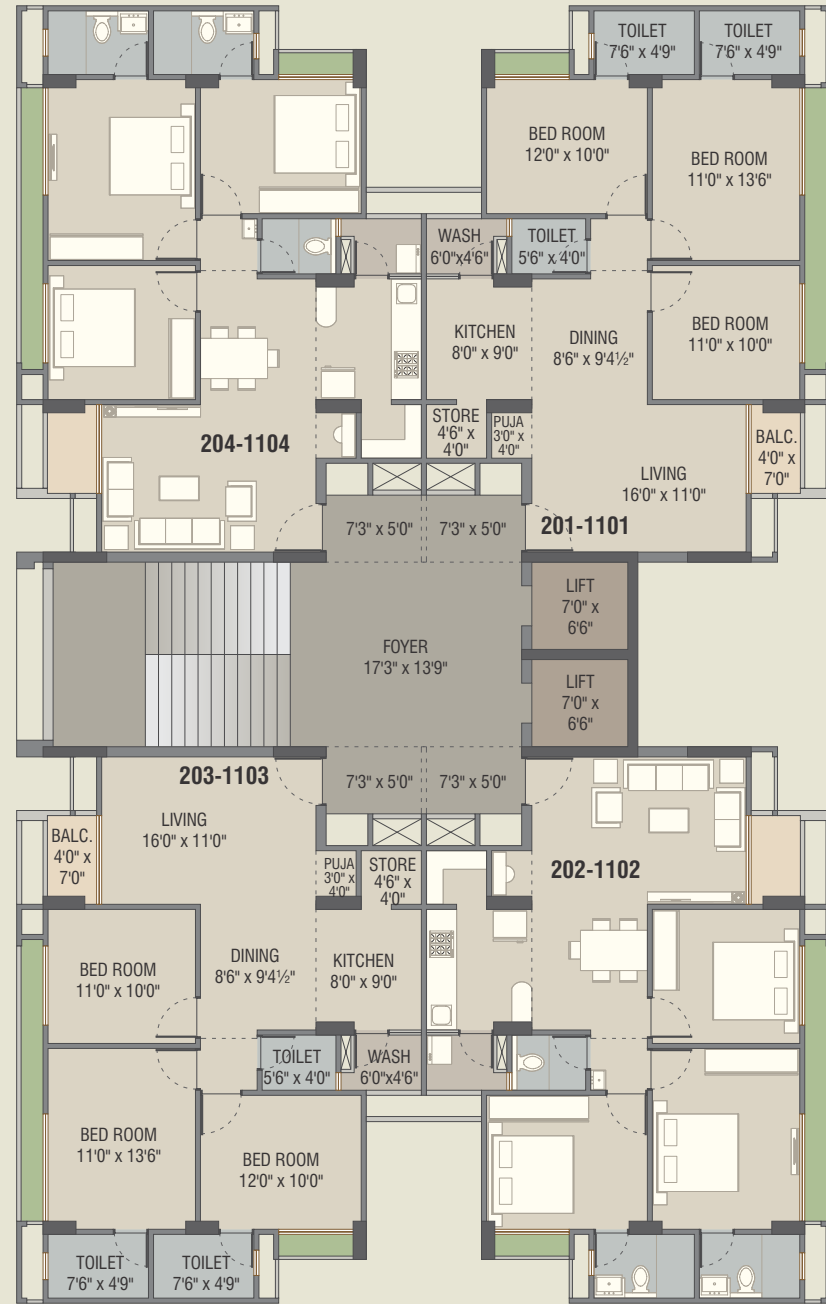
BASEMENT FLOOR PLAN



**TOWER
A**

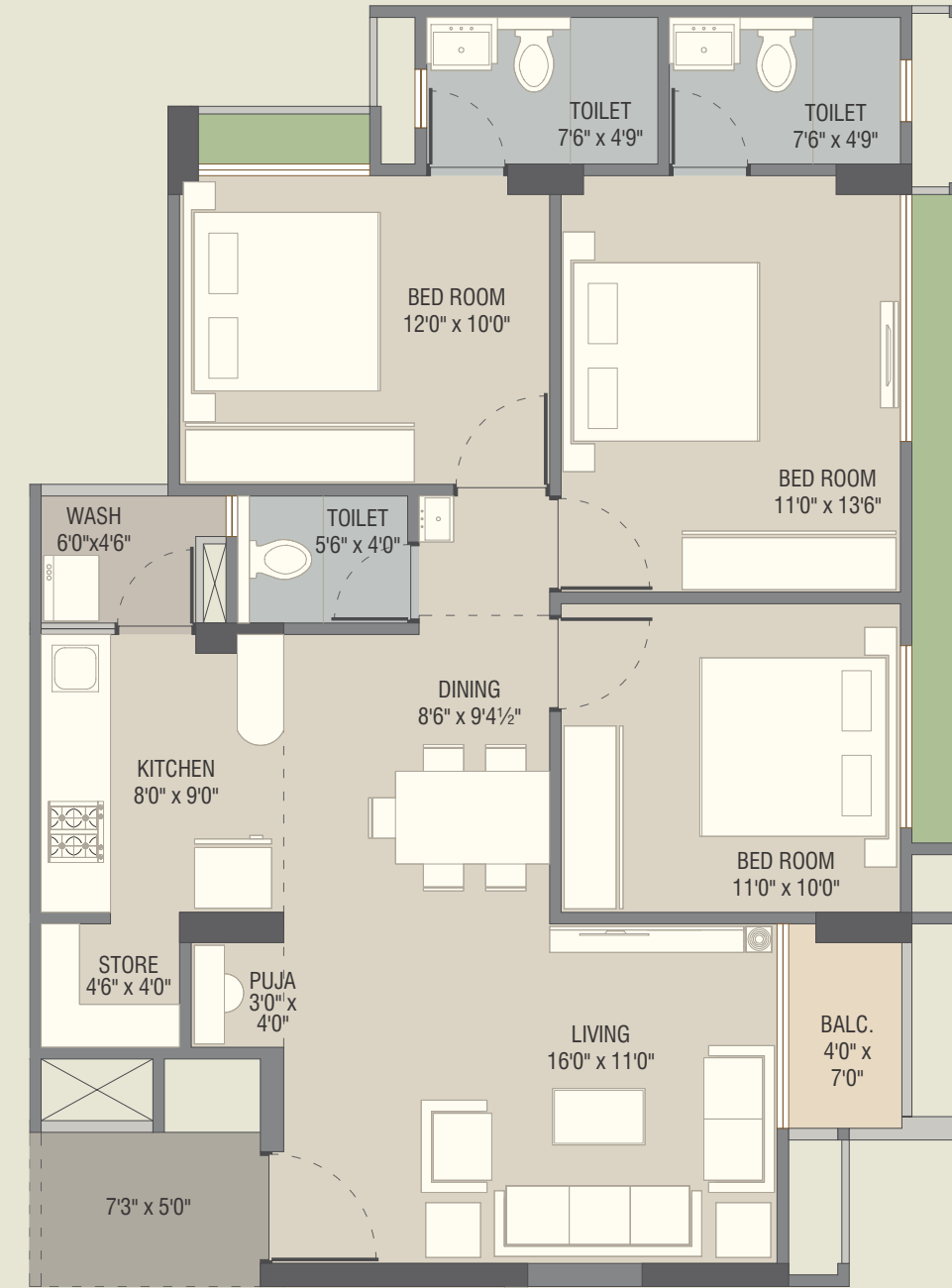


TYPICAL FLOOR PLAN



TYPICAL UNIT PLAN

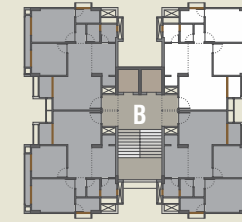
Built-up Area: **1105 sq.ft.**
Carpet Area: **950 sq.ft.**



**TOWER
B**

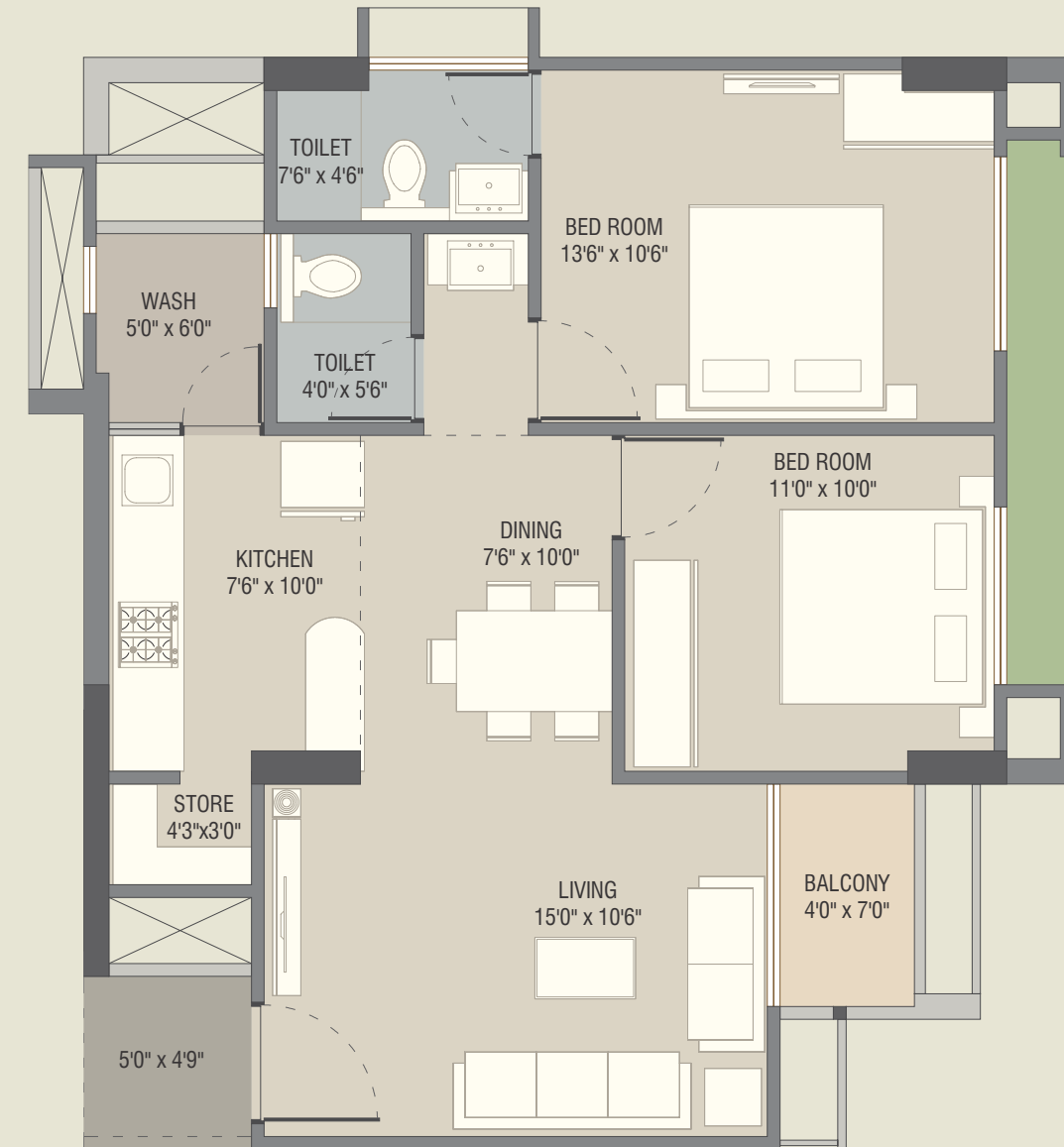


TYPICAL FLOOR PLAN



TYPICAL UNIT PLAN

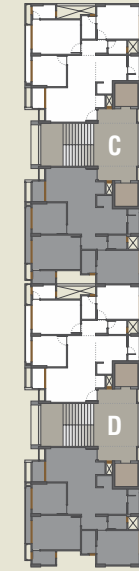
Built-up Area: **865** sq.ft.
Carpet Area: **750** sq.ft.



**TOWER
C & D**



TYPICAL FLOOR PLAN



TYPICAL UNIT PLAN

Built-up Area: **1235** sq.ft.
Carpet Area: **1070** sq.ft.



TOWER A

PENT HOUSE UNIT PLAN

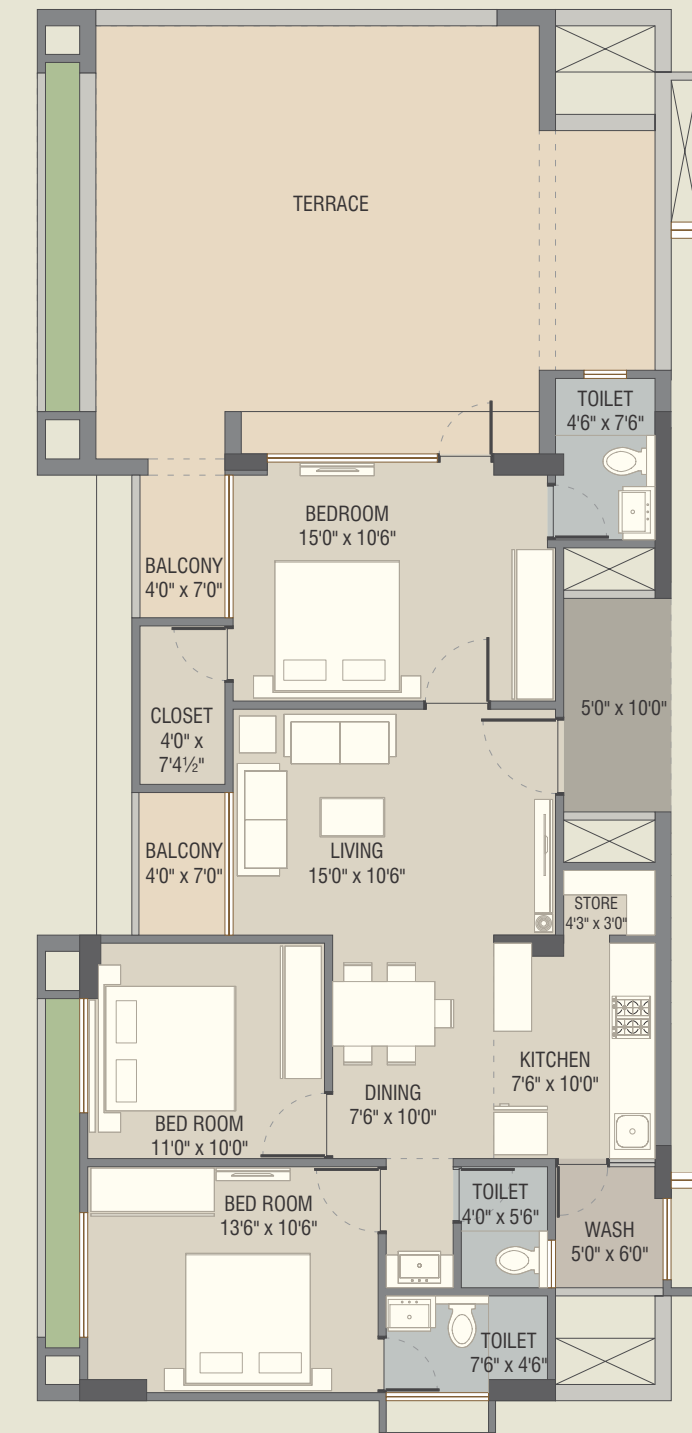
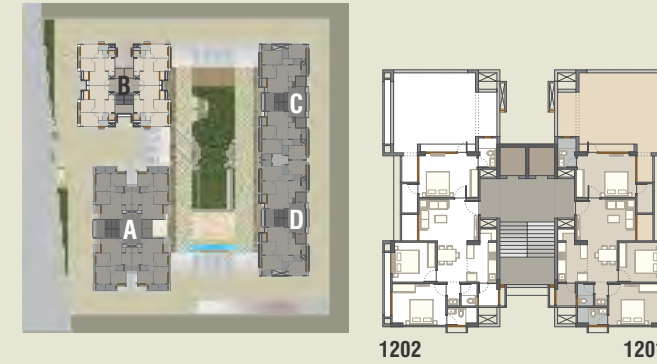
Built-up Area: **1448** sq.ft.
 Carpet Area: **1270** sq.ft.



TOWER B

PENT HOUSE UNIT PLAN

Built-up Area: **1152** sq.ft.
 Carpet Area: **1020** sq.ft.

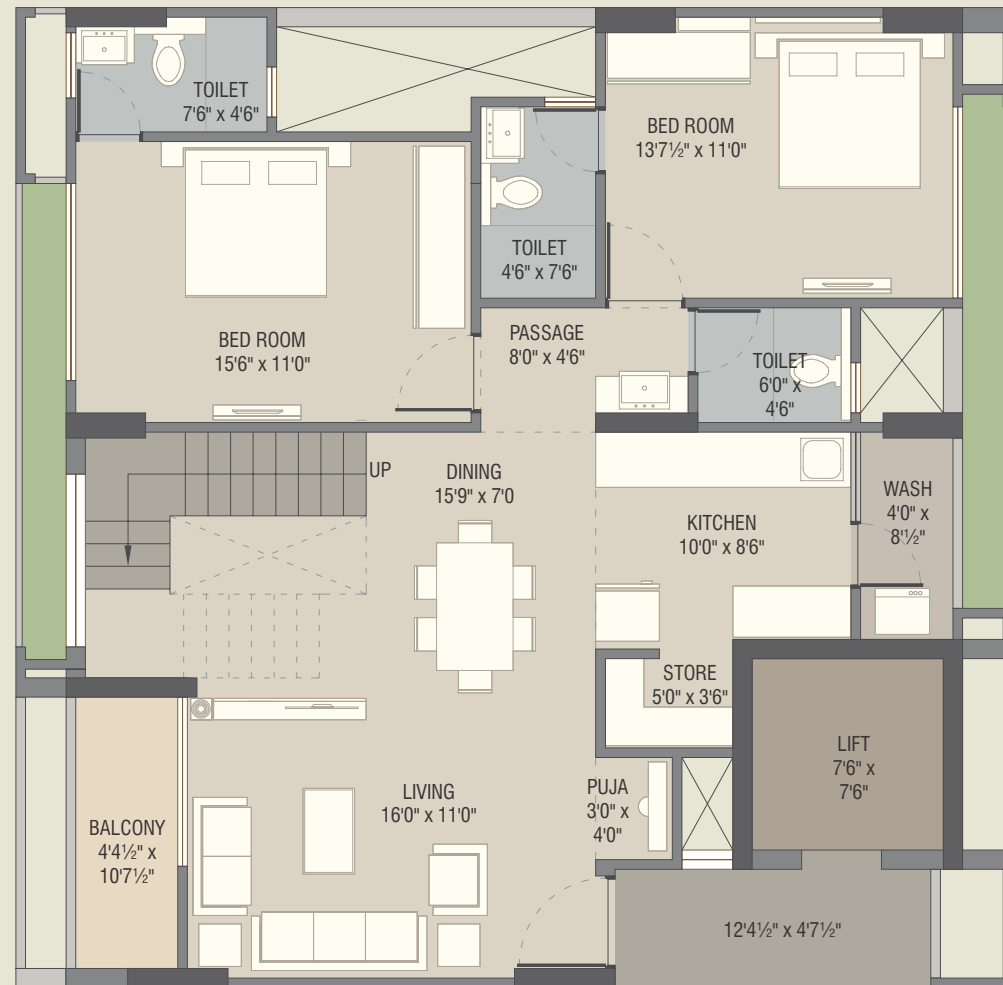


**TOWER
C & D**

PENT HOUSE UNIT PLAN (LOWER)

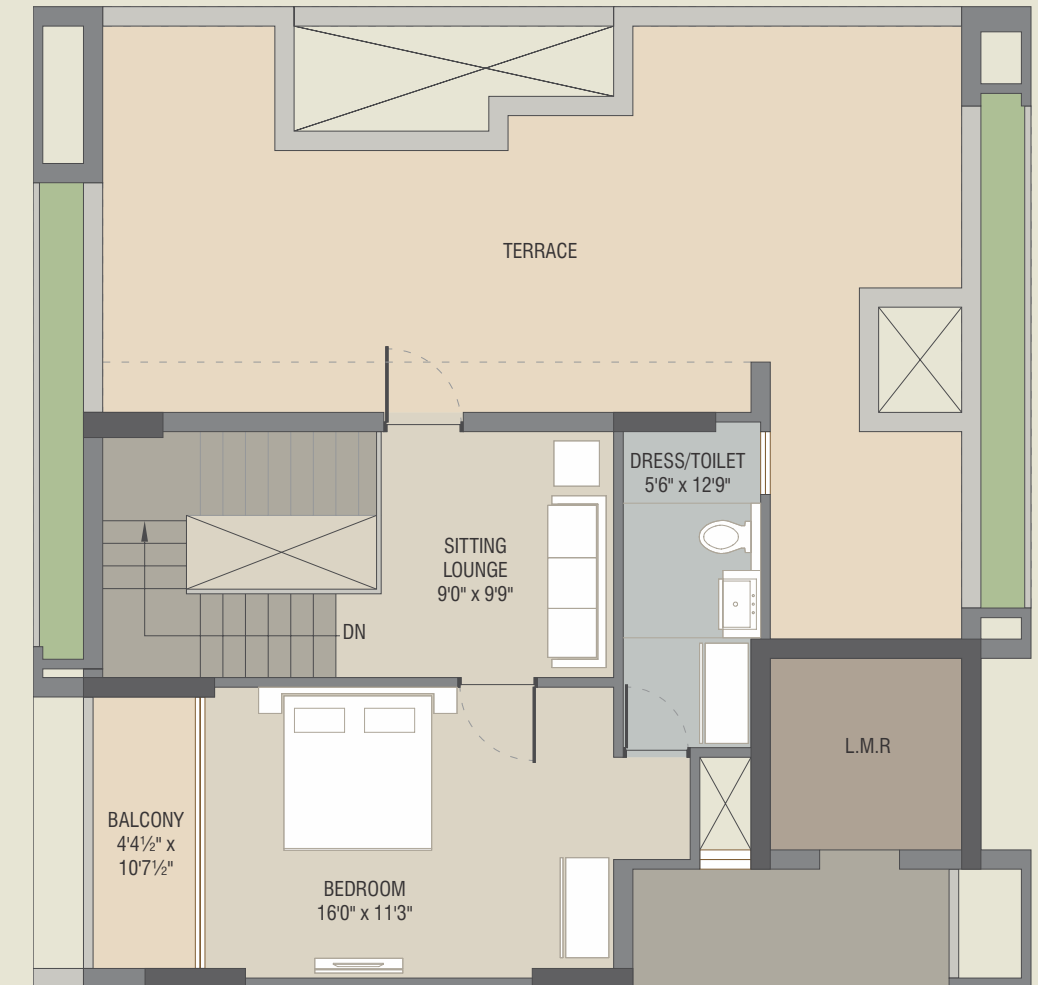
Built-up Area: **1823** sq.ft. (Lower + Upper)

Carpet Area: **1610** sq.ft. (Lower + Upper)



**TOWER
C & D**

PENT HOUSE UNIT PLAN (UPPER)



Shreenath GROUP

Real Estate housing solutions catering to diverse needs.
Covering the Entire Spectrum...
Welcome to the world of Shreenath Group.

OUR PAST PROJECTS



Shreenath SHALIGRAM 3 BHK LUXURY APARTMENTS



Shreenath PRATHAM 2 BHK LUXURY FLATS



Shreenath SHIKHAR 3-BHK LUXURY APARTMENTS



Shreenath PURAM 1 & 2 BHK FLATS & SHOPS



Shreenath CLASSIC 2-3 BHK APARTMENTS



Shreenath VERTICA 3 BHK & 5 BHK LUXURY APARTMENTS



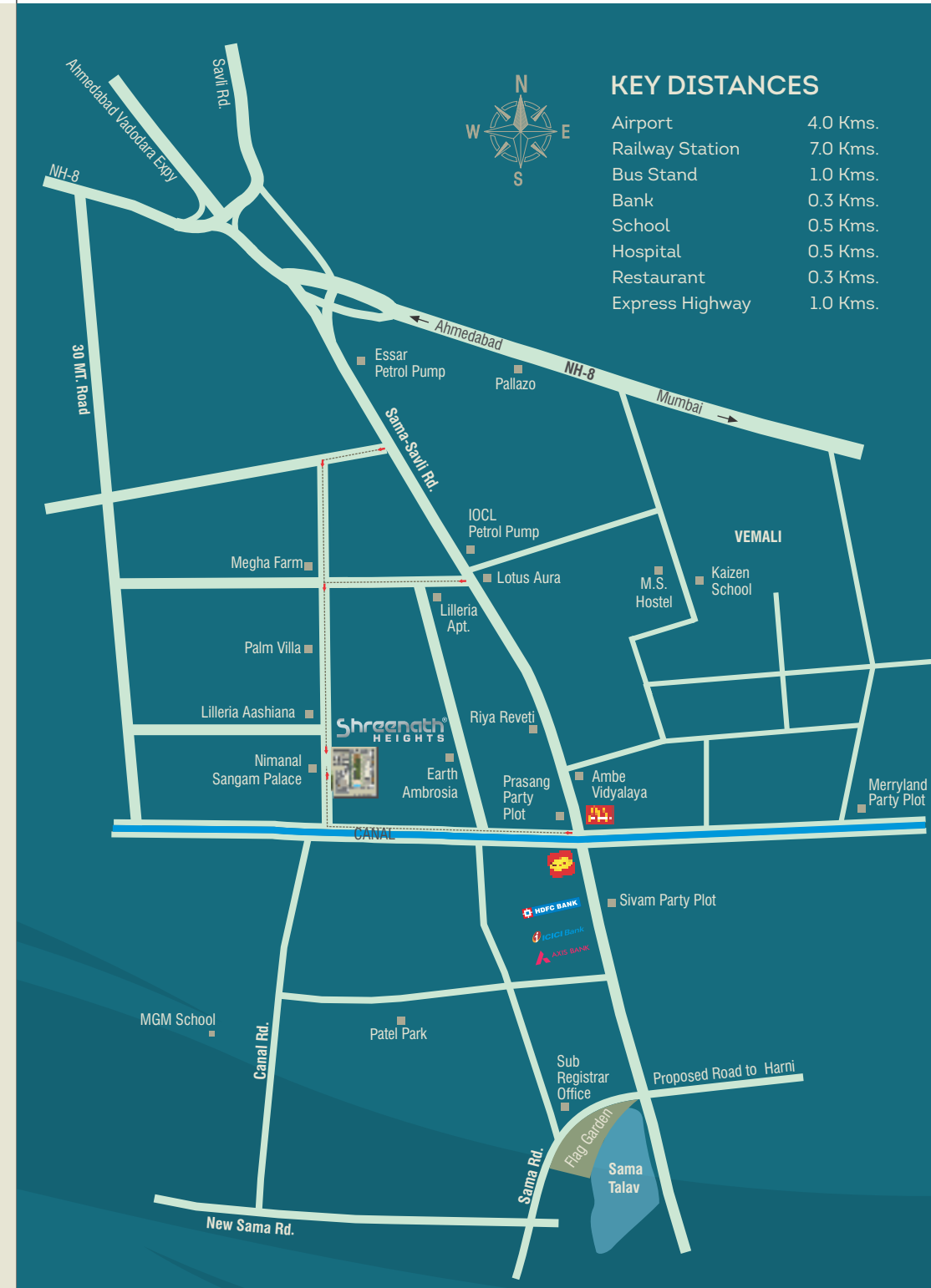
Shreenath SANIDHYA DESIGNER 3 BHK BUNGALOWS



Shreenath BUNGALOWS DESIGNER 4 & 5 BHK BUNGALOWS



Shreenath RESIDENCY 3 BHK DUPLEX BUNGALOWS



PAYMENT SCHEDULE

Payment Schedule

Upto 10% at the time of Booking
Upto 30% at the time of Agreement to sale
Upto 45% at the time of Completion of plinth
Upto 70% at the time of completion of slab
Upto 75% at the time of completion of Internal plastering, completion of walls, flooring, Door-windows frame work
Upto 80% at the time of completion of sanitary fitting, staircase, left well, entrance lobby, etc.
Upto 85% at the time of completion of external plastering, external plumbing, waterproofing, elevation
Upto 95% at the time of completion of lift, waterpump, electrical fittings, entrance pavement, etc.
Upto 100% at the time of handing over of possession
Total consideration (100%)

Notes: ♦ Possession will be given as per RERA commitment .
♦ Documentation charges, stamp duty, GST, MGVCL charges, development charge & common maintenance charges will be extra. ♦ Extra work shall be executed after mutual concern as per terms agreed. ♦ Continuous default payments leads to cancellation. ♦ Any change in exterior elevation shall not be permitted. ♦ No permission for interiors shall be granted before possession. ♦ All photography and computer imagery are artists impression and are provided for illustrative and indicative purposes only. Which every reasonable care has been taken in providing information, the developers cannot be held responsible for any discrepancy.