



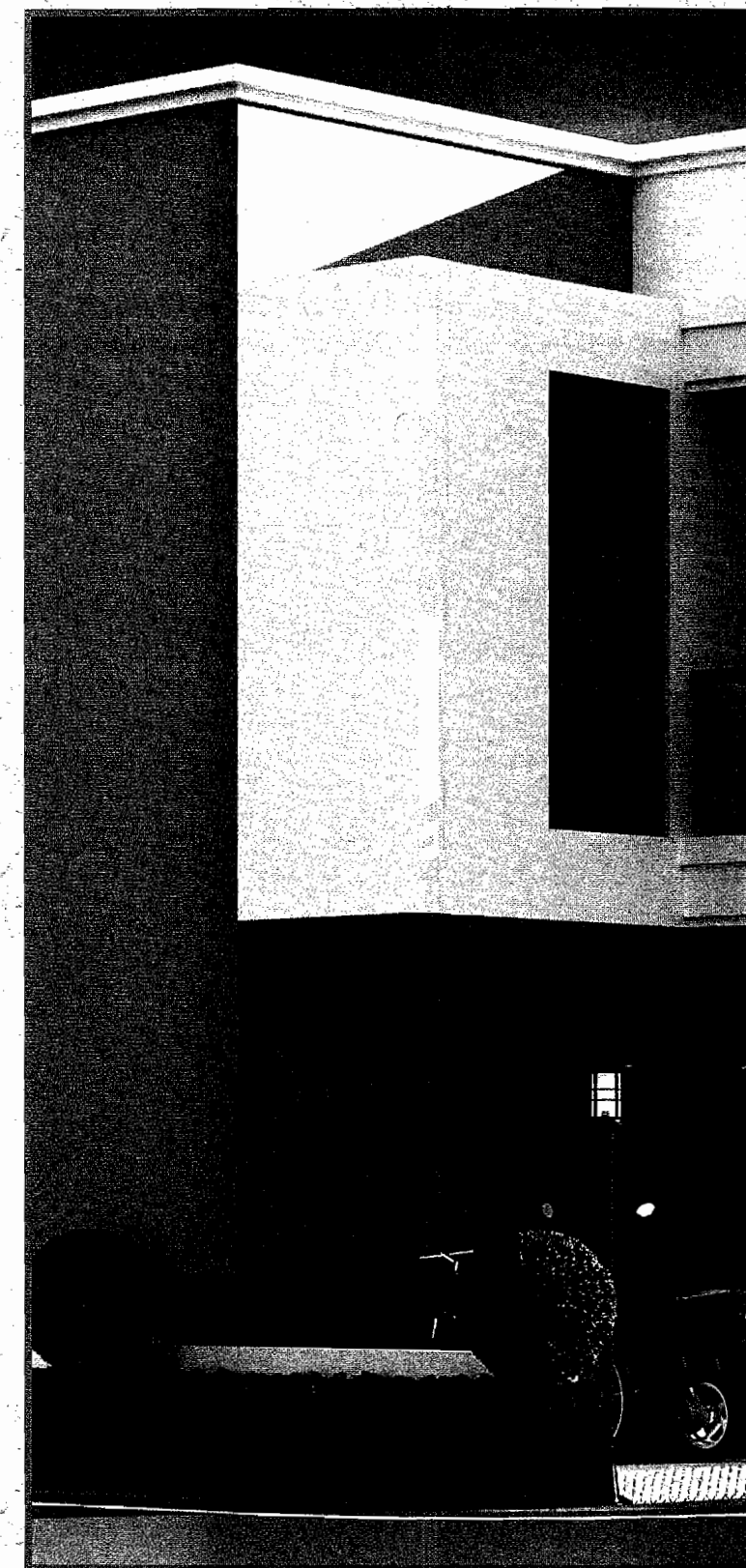
# ॥ श्रीकुंज ॥

*Residency*

Luxurious Bungalows & Tenements



Imagine a lifestyle without the limits of life an environment that expands far beyond the four walls living spaces that stretches your imagination for possibilities Homes that offer limitless ideas in comfort and style where life is lived without the hassles of living. Shrikunj Residency a project of Shubh Associates brings you home dwelling in harmony with nature to create peace & tranquility.





Type C



## Specification

Structure : Earthquake resistance RCC frame structure as per structure design.

Finishing : Internal smooth plaster with Emulation Paint and External double coat plaster with 100% acrylic paint.

Flooring : Good quality Vitrified tiles flooring in all rooms.

Doors : Elegant entrance door and Internal flush door with wooden frame.

Windows : Color Anodized Aluminium windows and natural stone sills with safety grills.

Kitchen : Granite platform with SS Sink & premium branded wall tiles dedo up to lintel level.

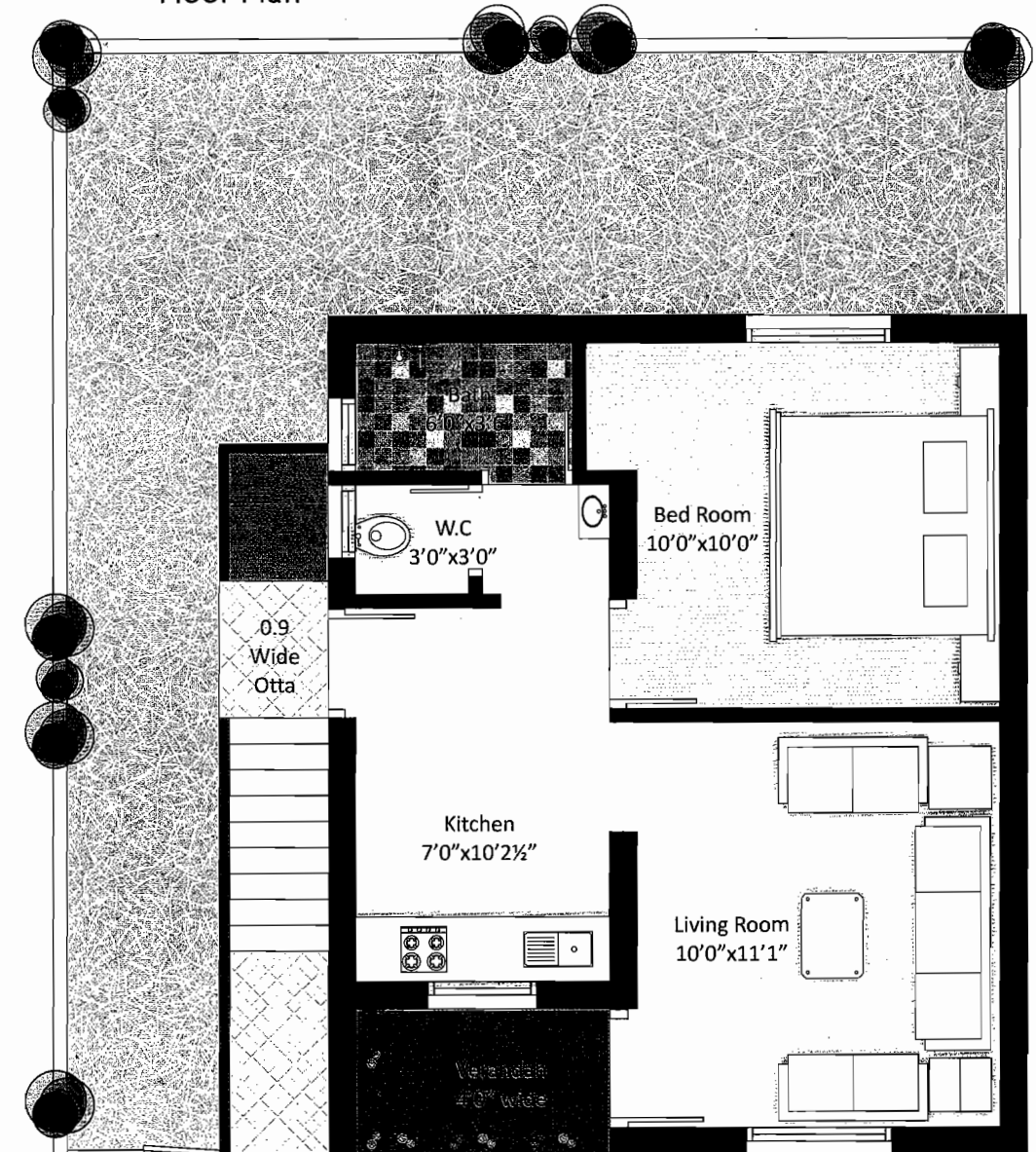
Bathroom : Designer tiles upto lintel level with standard quality C.P. Fittings.

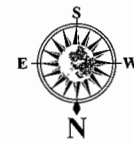
Electrification : Concealed ISI mark cooper wiring, AC Point in master bedroom, Good quality modular switches.

Plumbing : Systmetrix concealed C-PVC Plumbing.

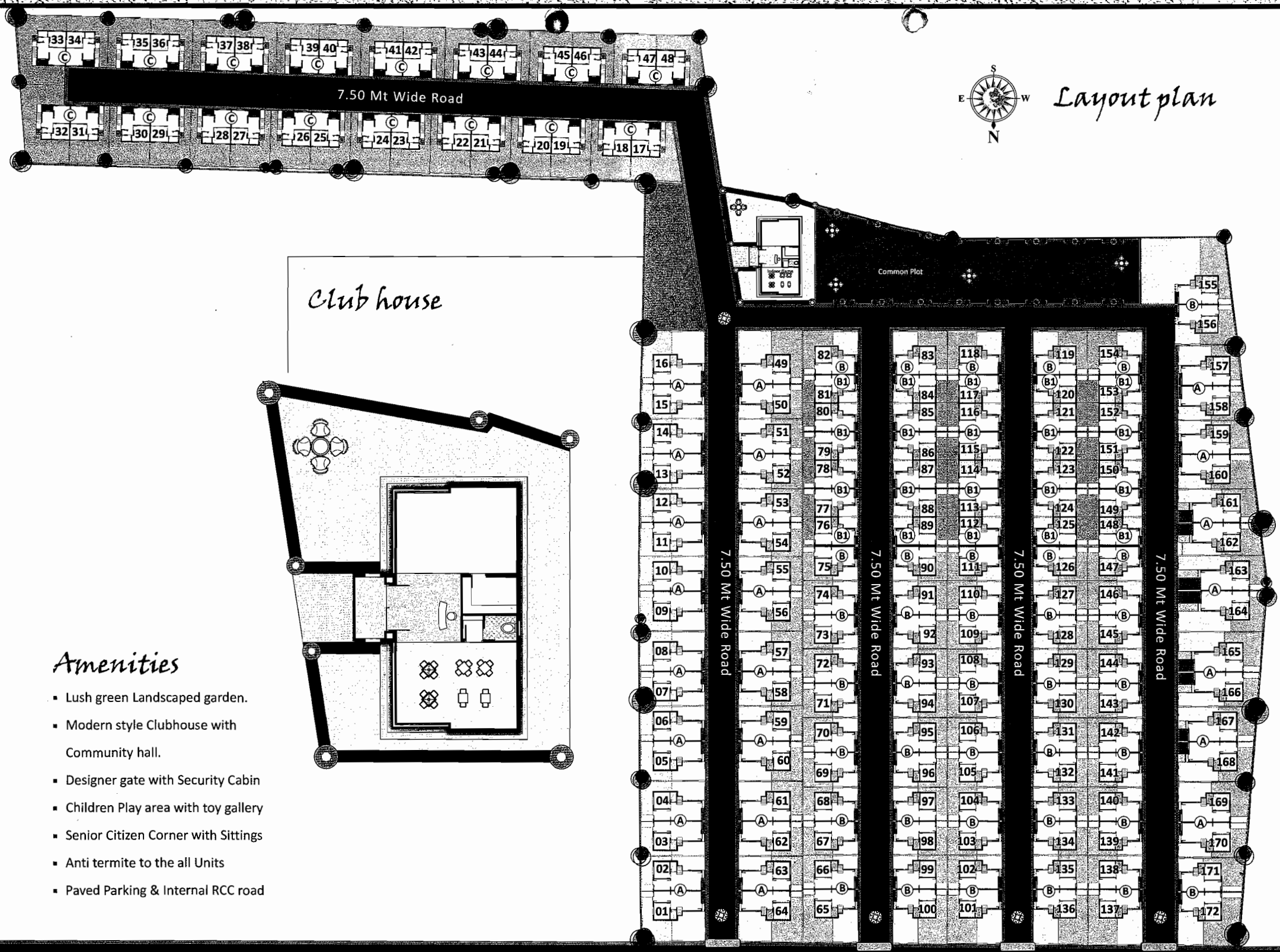
Water Supply : Underhead and Overhead tanks.

## Ground Floor Plan





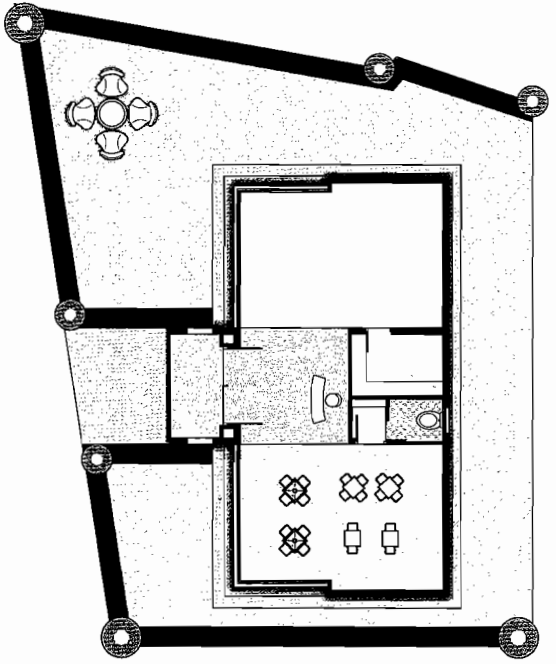
# Layout plan



Club house

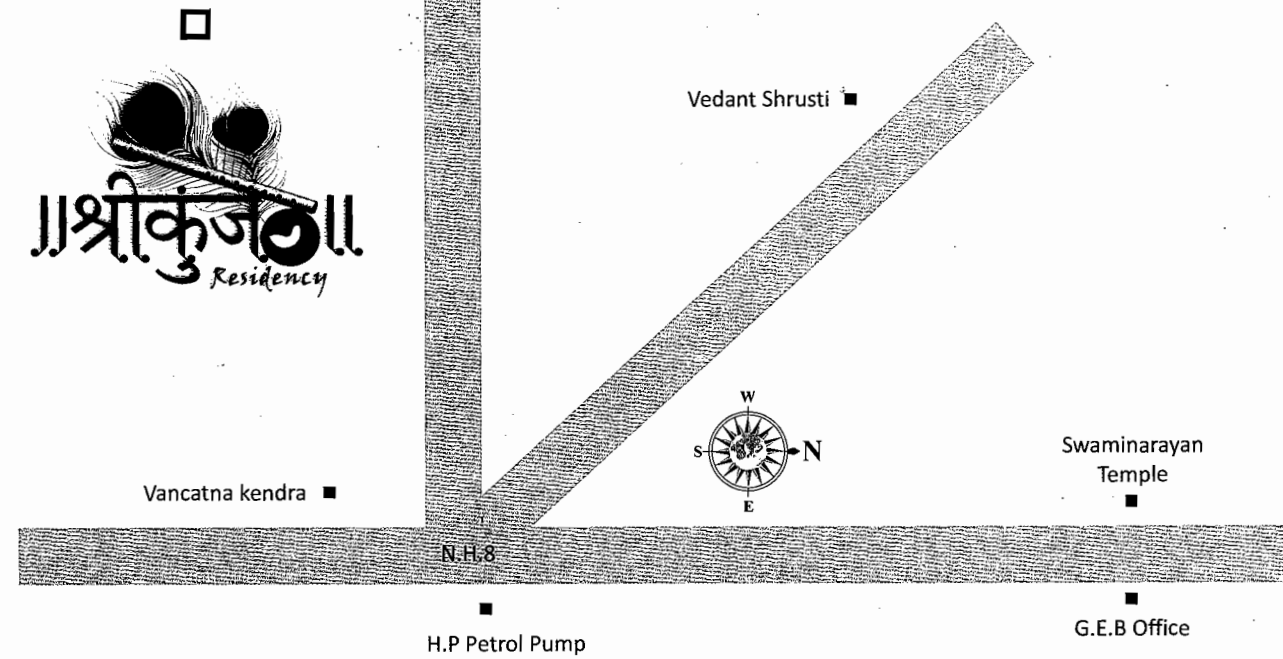
## Amenities

- Lush green Landscaped garden.
- Modern style Clubhouse with Community hall.
- Designer gate with Security Cabin
- Children Play area with toy gallery
- Senior Citizen Corner with Sitings
- Anti termite to the all Units
- Paved Parking & Internal RCC road



18.00 Mt Wide Road

## Location



### Developers

#### SHUBH ASSOCIATES

Shrikunj Residency, Beside Vedant shrusti  
Opp. H.P. petrol pump, N.H.8 Jambuva, Vadodara  
Contact : 7359520005, 7359520006

Structure : Ashok Shah & Associates

Architect : Sarjan Associates

Payment terms : 25% on booking, 15% on initiation of plinth level, 10% on first slab, 10% on second slab, 15% brick work, 10% on plaster level, 10% flooring level, 5% possession

Notes : 1) Possession will be given after one month of settlement of all accounts. 2) Extra work will be executed after receipt of full advance payment. 3) Document charges, stamp duty, service tax & common maintenance charges will be extra. 4) Any new Central or State Government Taxes, if applicable shall have to be borne by the clients. 5) Extra work shall be executed after making full payment. 6) Continuously default payments leads to cancellation. 7) Architect/ Developers shall have the right to change or raise or any details here in and any change or revision will be binding to all. 8) In case of delay in water supply, light connection, drainage work by authority, developers will not be responsible. 9) Refund in case of cancellation will be made within 30 days from the date of booking of new client only. 10) Administrative expense of 20,000/- & the amount of extra work (if any) will be deducted from amount. 11) Maintenance charges will be 25,000/-. 12) This brochure is a conceptual, not a legal offering. The Promoter reserves the right to change, alter, add or delete any of the specifications mentioned herein without prior permission or notice. The plan shown is only for the purpose of illustrating a possible layout and does not form a part of the offering.