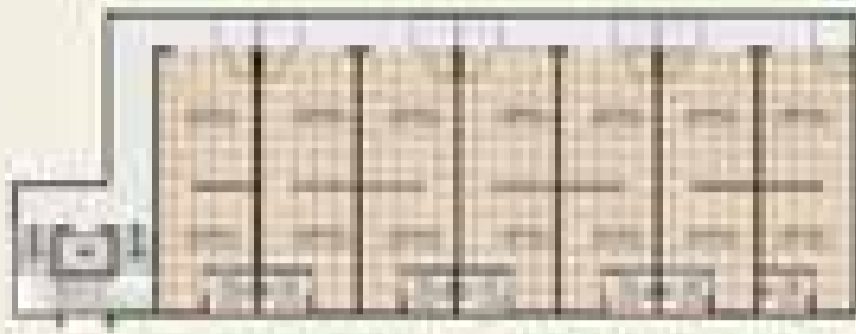
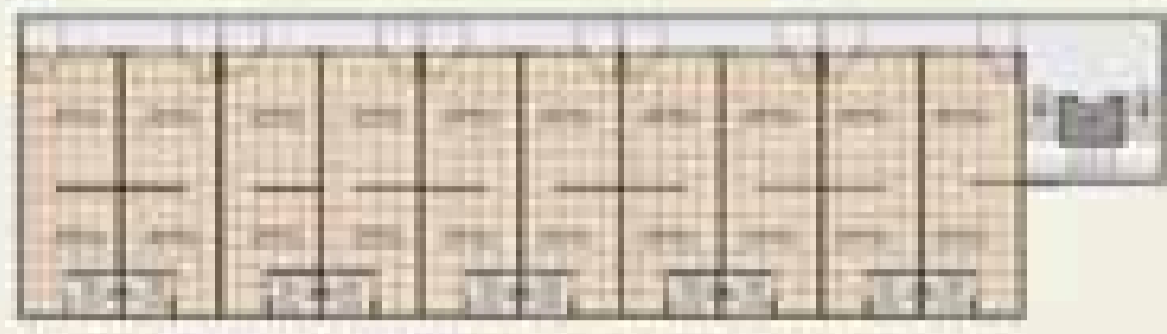


TOWER - B (GROUND FLOOR - 1HK)



TOWER - A (GROUND FLOOR - 1HK)



TOWER - B (FIRST FLOOR 1HK & 2 BHK)



TOWER - A (FIRST FLOOR 1HK & 2 BHK)



TOWER - B (TYPICAL FLOOR PLAN-2nd, 3rd)



TOWER - A (TYPICAL FLOOR PLAN-2nd, 3rd)



1BHK FLAT



1BHK FLAT





Shubh

RESIDENCY-1

Developers :

URBAN DEVELOPERS

Site:

75.00 Mt. Main Road,
Shubh Residency,
1 Km to Kapura Chowk,
Dabhoi Ring Road,
Vadodra.

Contact :

917 331 3332

917 331 3777

e-mail: shubhhome12@gmail.com

Architect :

Datta Architect & Engineer

Notes:

- Documentation, Stamp fees, Development, Repetitive charges, Service tax, etc. (RCC), all mortgage fees will be extra. - Any additional charges or duties levied by the government / local authorities during or after the completion of the scheme will be born by the purchaser/owner. - Possession will be given with one month of settlement accounts. - Income tax return is required for any sale or modification work. - Developer will not be responsible for any loss or other matter (Storage, Light connections). - Mutual deed to give in case of cancellation of the booking within 15 days only after the booking of same person by another deed and refund of payment from him after deducting - sales expenses incurred if any and a nominal amount of Rs. 2000/- the condition for all types. - Developer reserves all rights to make any changes in the scheme including technical specifications design planning & layout. - This brochure does not constitute a part of any legal agreement / document. - It is for easy display of the project.

Payment terms : 50% Booking - 25% Plinth level - 25% 01' slab level - 25% 02' slab level - 25% Plaster level - 25% Flooring level - 5% Fixing



Amenities

- Impressive main entrance gate with security cabin
- Cement concrete road with side parking
- Street light
- Jogging track
- Children play area
- Landscaped Garden
- Senior citizen sitting

Specification...

Structure : R.C.C. & brick masonry work as per Architect & structural engineer's design
Wall Finish : External sandface plaster with acrylic paint, Internal smooth plaster with Putty, Distemper paint
Flooring : Vitrified tiles flooring in all rooms with skirting
Doors : Decorative main door with fittings and Internal doors will be good quality laminated flush door
Windows : Fully glazed Aluminium windows with safety bars
Kitchen : Granite kitchen platform with S.S sink, glazed tiles upto final level
Bath : Ceramic tiles flooring & Decorative glazed tiles upto door top level
Plumbing : Concealed plumbing MPVC with good quality S.S. fittings
Electrification : Concealed wiring of ISI quality with sufficient points as per architect details
Water : Underground & Overhead tank

A-type

Ground Floor Plan

Min. Plot : 743 sq.ft.



First Floor Plan



Developers :
URBAN DEVELOPERS
Site:
 70/20 St, Main Road,
 Shubh Residency,
 1 Km to Kapura Chowk,
 Dehkol, Ring Road,
 Vadodra.
Contact:
 917 321 3600
 917 321 3777
 e-mail: shubhhome12@gmail.com
Architects :
 Datta Architects & Engineers

shubh
 RESIDENCY-1

3 - BHK DUPLEX

Notes:
 - Specifications, Plans and Drawings are subject to change without notice by URBAN DEVELOPERS. All technical work will be done. - All payments except of 10% paid by the government / State authorities being of what the responsibility of the customer will be done by the customer/contractor. - Customer will do work with one month of payment security. - Customer contract is transfered to you with a condition that - Customers will not be responsible for any thing of water supply, drainage, light connection. - Work will be done as per a condition of the contract with it you will not do the things if some problem in another place not covered of contract term like, after finishing work customer received 10% and a retention amount of Rs. 20000. (As condition of the term). - Customer receive all right to work and therefore in the contract including technical specifications design drawings & permit. - The contract shall not include a part of any legal agreement / document. - It is to use details of the contract.
 Payment terms : 20% Booking - 15% Plinth Level - 15% 2nd floor level - 15% 3rd floor level - 15% Plaster Level - 10% Roofing Level - 10% Finishing



B-type

Ground Floor Plan

Min. Plot : 776 sq.ft.



First Floor Plan



LAYOUT PLAN

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4110	4110

