



# SUN PALACIO

5 BHK LUXURIOUS BUNGALOWS



DEVELOPERS  
**SHIVAM INFRA**

SUN PALACIO - Beside Broadway Venture, Behind Priya Cinema,  
Opp. Vihav Parvarish, Sevasi TP. 2, Vadodara 391101.

Contact No. : +91 98242 09497

Architect : **ASQUARE**  
ARCHITECT & INTERIOR DESIGNER

Structure : Ashok Shah & Associates

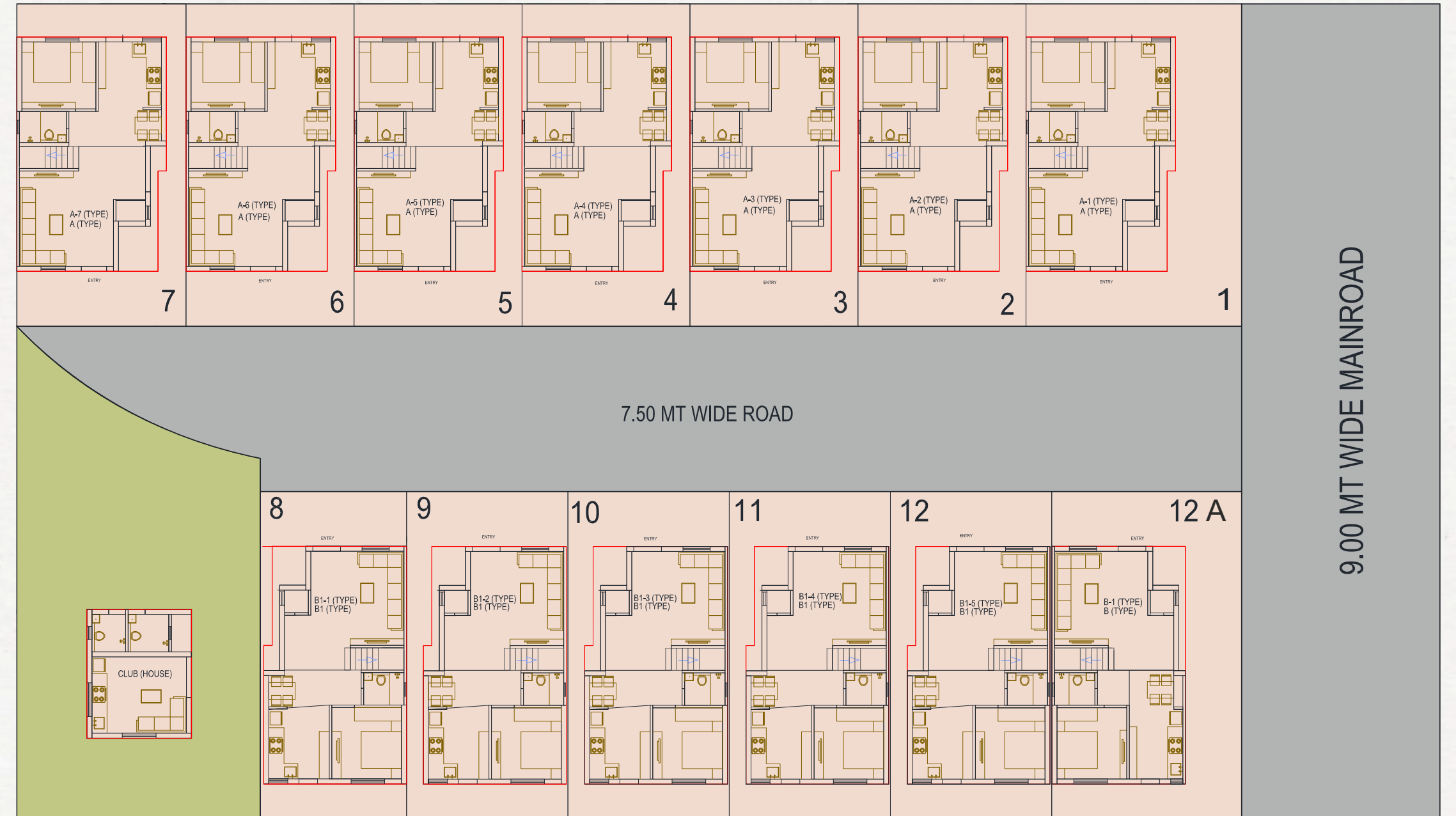
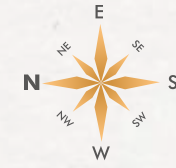
Payment Schedule : • 10% Booking • 15% Agreement For Sale • 15% Plinth • 15% Ground Floor Slab  
• 15% First Floor Slab • 10% Second Floor Slab • 5% Masonry • 5% Plaster • 5% Flooring • 5% Finishing

Notes : (1) Possession will be given after one month of settlement of all accounts. (2) Extra work will be executed after receipt of full advance payment. (3) Stamp Duty Registration Charge , GST or any new Central Govt State Govt. VUDA taxes , if applicable shall have to borne by the client. (4) Continuous default payments leads to cancellation (5) Architect / Developers shall have the rights to change or revise the scheme or any details herein and any change or revision will be binding to all. (6) Incase of delay in electrical connection by authority, developers shall not be responsible (7) All dimensions are indicative and actual dimensions in each room might vary. (8) Plot area shown in list is as per site condition and may vary. (9 ) Common compound wall of individual unit will be as per architect design (10) Water connections is from society bore well and drainage connection will be common soak pit. (11) Refund (exclude tax) shall be given in case of cancellation of the booking within 30 days . The payment shall be refunded only after same premises is re - booked and payment for the same is received from the other customer. We shall deduct a minimum administrative charge Rs 50,000. (12) Any plans , specifications or information in this brochure cannot form part of an offer, contract agreement. (13) All members shall have to essentially be part of the society formed by the association members and shall have to abide by the society bylaws. (14) After virtual completion of the work all the repair and the maintenance like drainage, watchman salary, clubhouse maintenance , gardening, electricity bill etc. shall borne by society members. (15) Members of society are not allowed to change elevation of bungalows in any circumstances . This brochure shall not be treated as a legal document, It is only for the purpose of information



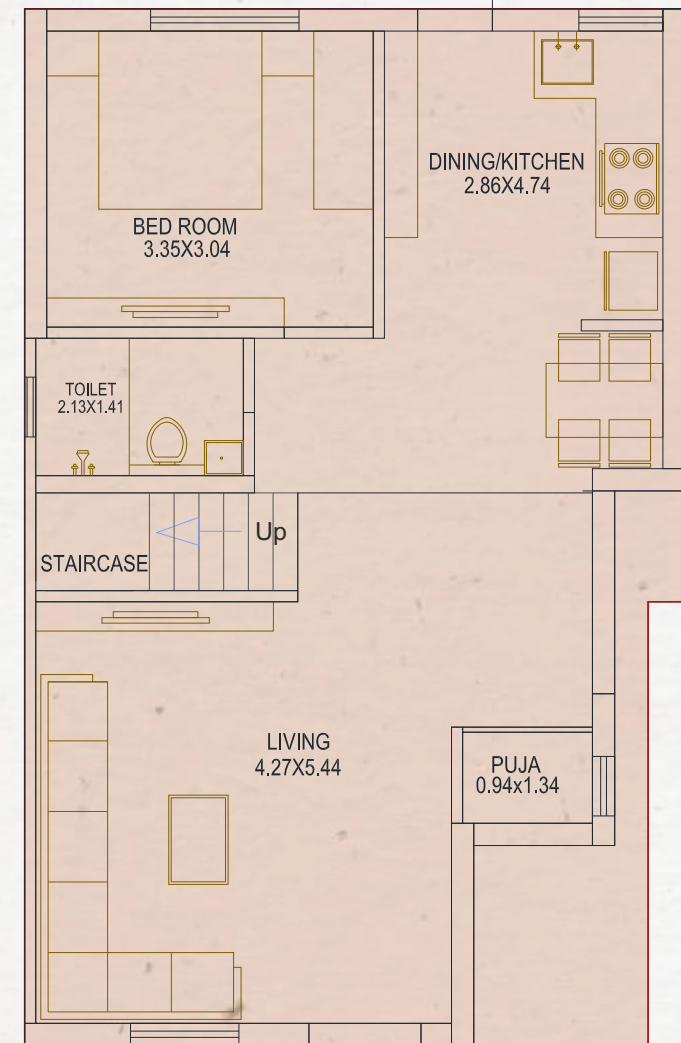


Layout Plan

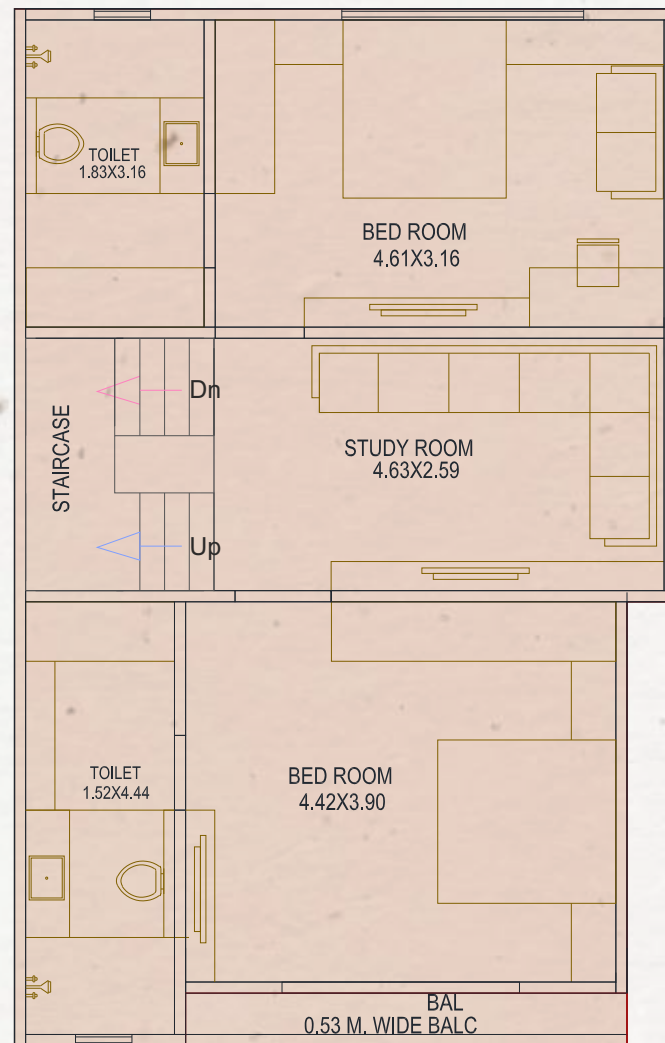


# TYPE A

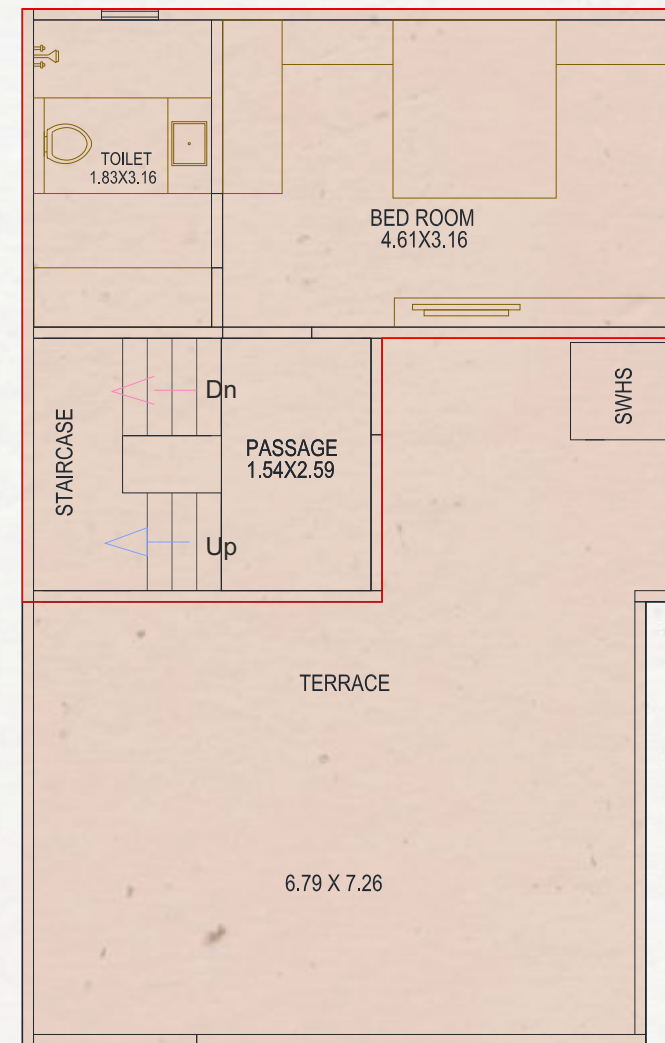
## GROUND FLOOR PLAN



## FIRST FLOOR PLAN

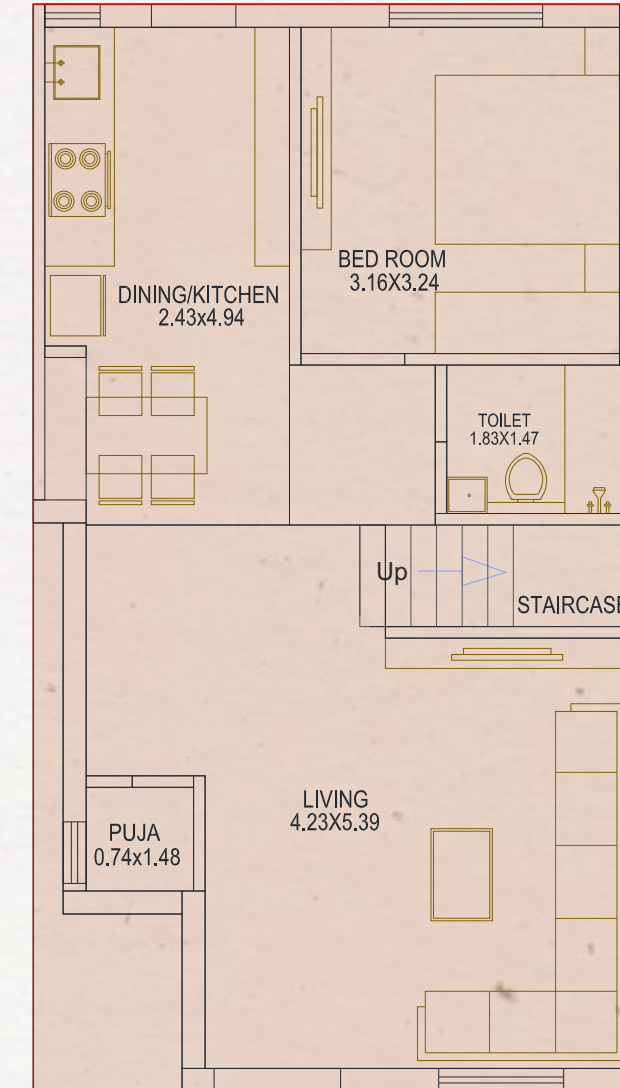


## SECOND FLOOR PLAN

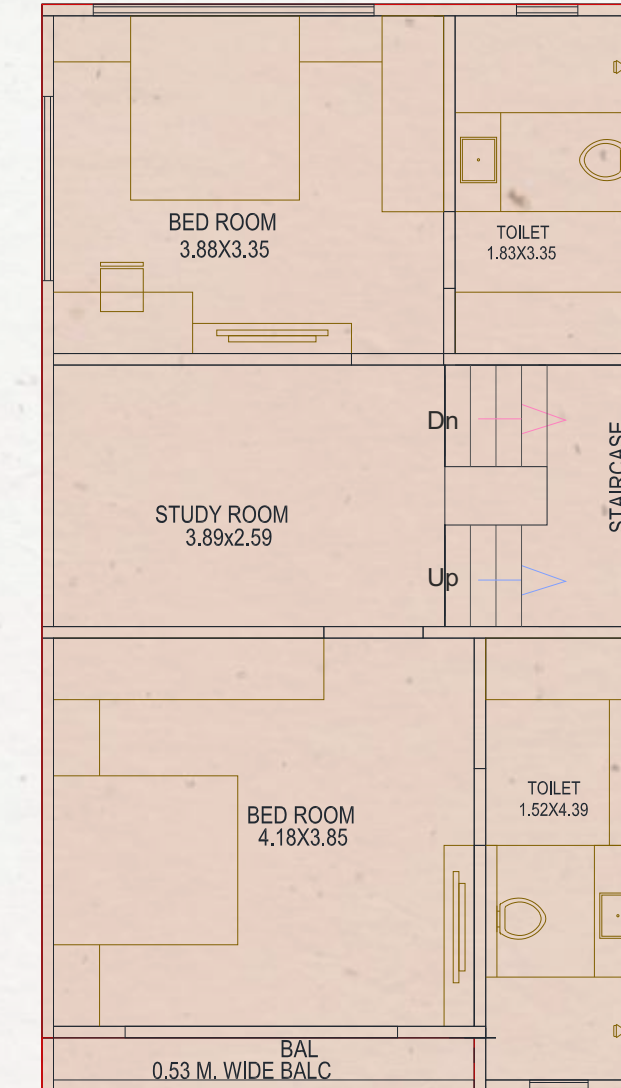


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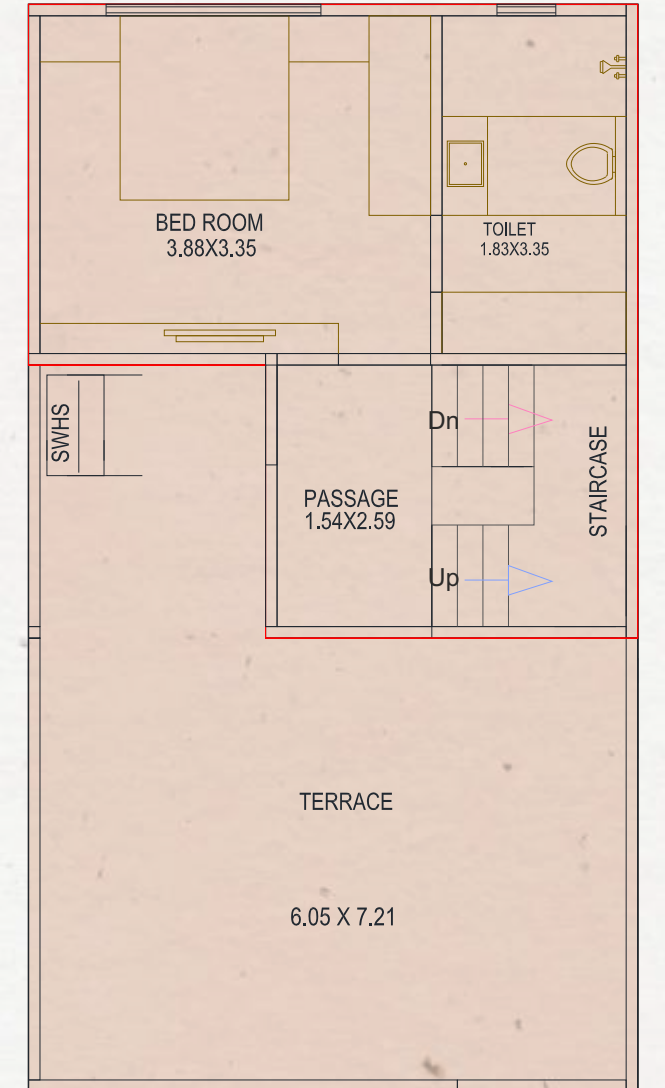
## GROUND FLOOR PLAN



## FIRST FLOOR PLAN

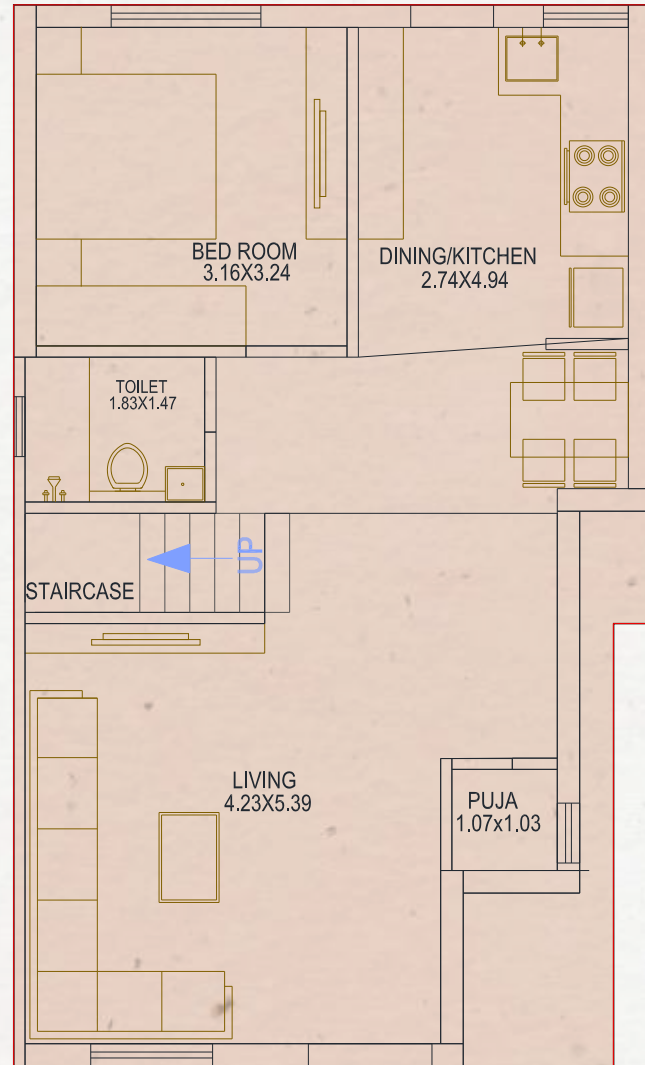


## SECOND FLOOR PLAN

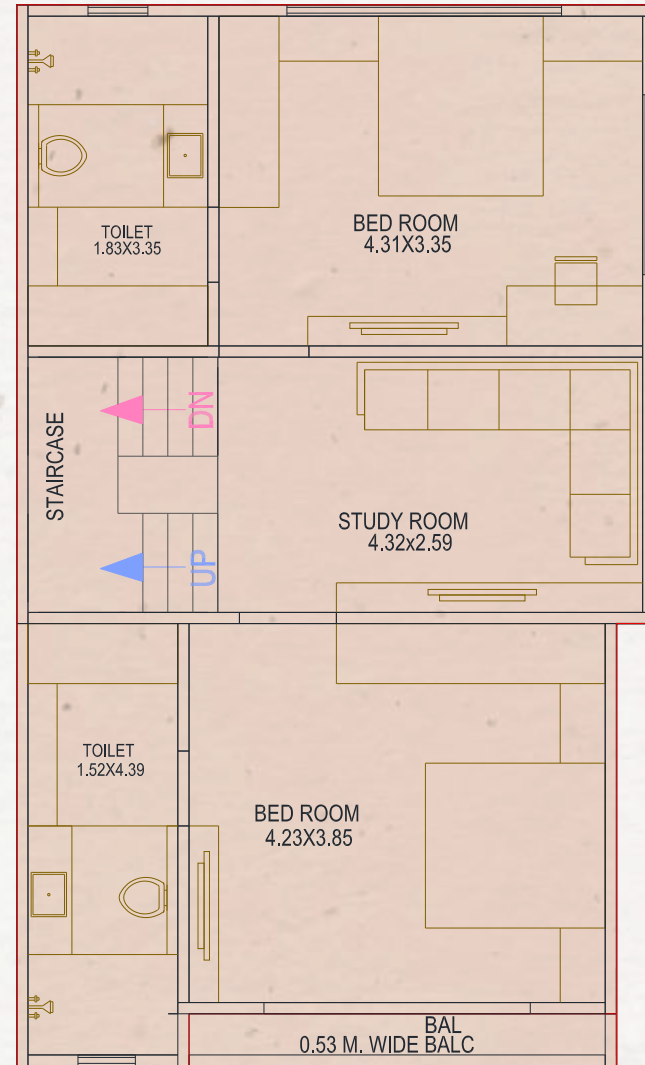


# TYPE B1

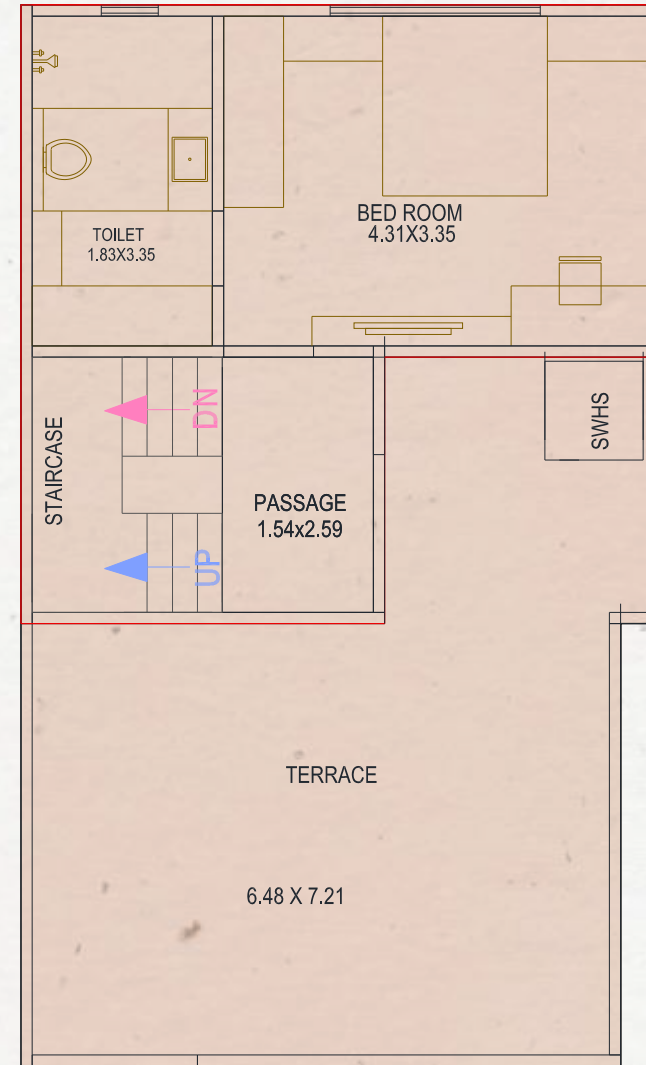
## GROUND FLOOR PLAN



## FIRST FLOOR PLAN



## SECOND FLOOR PLAN



## SPECIFICATION

### RCC STRUCTURE

Earthquake resistant RCC frame structural as per structural engineer's design

### FLOORING

Vitrified Tiles in all Rooms

### DOOR & WINDOWS

Doors : Elegant Laminated Flush doors.

Windows : Color anodized aluminium section windows with glass of reputed make

### BATHROOMS & TOILETS

Designer bathrooms with Premium Glazed Tiles as per architect's suggestion. Premium branded Plumbing fixture and vessels.

### PAINT & FINISH

Interiors : Smooth plaster with Wall Putty & Primer  
Exterior : Double coat plaster with paint.

### KITCHEN

Granite counter with Sink and tiling upto the lintel level.

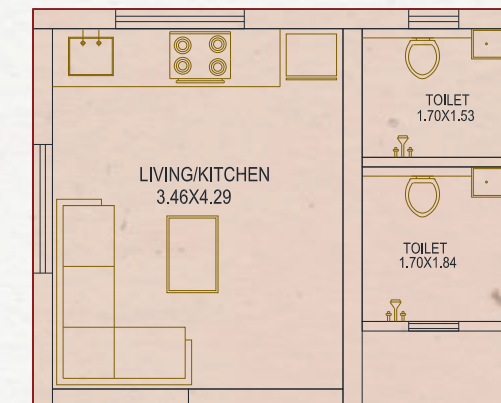
### ELECTRIFICATION

Concealed copper wiring of approved quality  
Modular switches with sufficient electrical point as per architect's plan.

### TERRACE




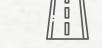

Open terrace finished with chemical water proofing and china mosaic flooring / tiles .

## CLUBHOUSE PLAN



## AMENITIES

-  Exclusive Entrance Gate with Security Cabin
-  Landscape Garden
-  Children's Play Area
-  24x7 Security with CCTV Surveillance

-  Multipurpose Hall
-  24x7 Hrs. Water Supply
-  Compound Wall as per Architect's Design
-  Internal RCC road
-  Rain Water Harvesting