

**SUNCREST**  
SUPERIOR LIVING

DEVELOPERS  
**SUN CORPORATION**

Suncrest - Opp. Kashiba Farm, Bill- Chapad Road,  
Bill - Vadodara - 391410

Call : +91 99798 67105, 8160911194  
Email : suncrest1221@gmail.com

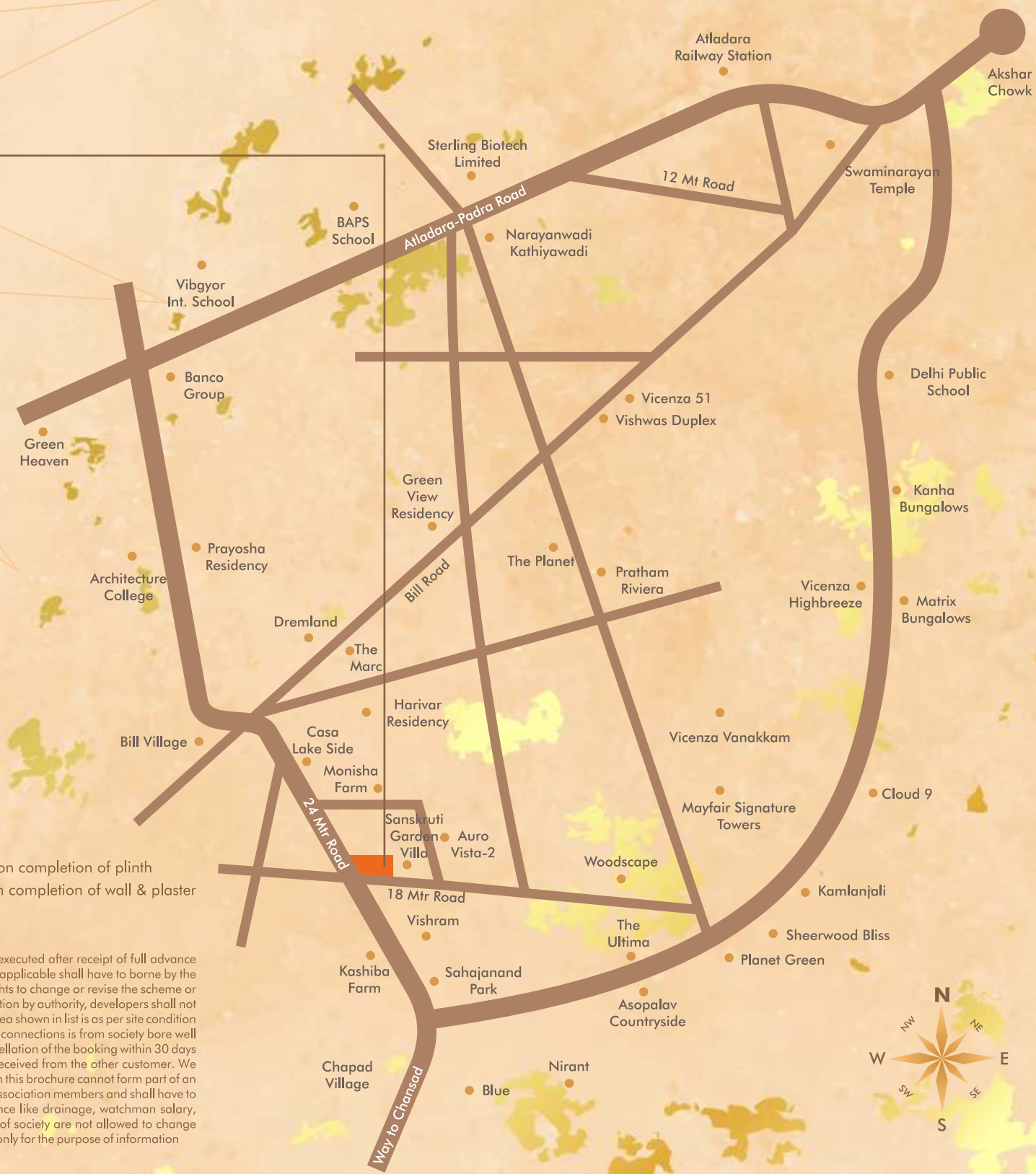
Architect :  
**SPACE PLUS**  
Architecture • Planning • Interiors

Structural Consultants :  
Ashok Shah & Associates

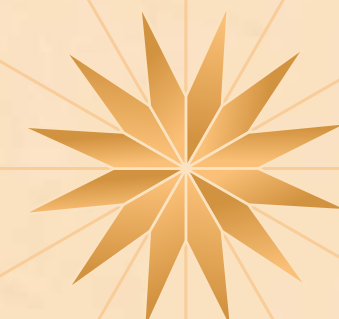
Payment Schedule : • 10% At the time of Booking • 15% After signing AFS • 15% on completion of plinth  
• 20% on completion of Ground Slab • 20% On completion of first slab • 10% On completion of wall & plaster  
• 05% on completion of plumbing & color • 05% on offer of possession

Notes : (1) Possession will be given after one month of settlement of all accounts. (2) Extra work will be executed after receipt of full advance payment. (3) Stamp Duty Registration Charge , GST or any new Central Govt State Govt. VUDA taxes , if applicable shall have to borne by the client. (4) Continuous default payments leads to cancellation (5) Architect / Developers shall have the rights to change or revise the scheme or any details herein and any change or revision will be binding to all. (6) Incase of delay in electrical connection by authority, developers shall not be responsible (7) All dimensions are indicative and actual dimensions in each room might vary. (8) Plot area shown in list is as per site condition and may vary. (9) Common compound wall of individual unit will be as per architect design (10) Water connections is from society bore well and drainage connection will be common soak pit. (11) Refund (exclude tax) shall be given in case of cancellation of the booking within 30 days . The payment shall be refunded only after same premises is re - booked and payment for the same is received from the other customer. We shall deduct a minimum administrative charge Rs 50,000. (12) Any plans , specifications or information in this brochure cannot form part of an offer, contract agreement. (13) All members shall have to essentially be part of the society formed by the association members and shall have to abide by the society bylaws. (14) After virtual completion of the work all the repair and the maintenance like drainage, watchman salary, clubhouse maintenance , gardening, electricity bill etc. shall borne by society members. (15) Members of society are not allowed to change elevation of bungalows in any circumstances . This brochure shall not be treated as a legal document; It is only for the purpose of information

GujRERA Reg. No.: PR/GJ/VADODARA/VADODARA/Others/



Design by Meraki +91 992529 4477



**SUNCREST**  
SUPERIOR LIVING



**RICHNESS INSIDE**  
**FRESHNESS OUTSIDE**

3&4 BHK LUXURIOUS VILLAS

# LAYOUT PLAN



24.00 M WIDE T.P.D. ROAD

ENTRY

7.5M WIDE INTERNAL ROAD

18.00 M WIDE T.P. ROAD

18.00 M WIDE T.P. ROAD

Plot No. 1A

- |          |                  |               |                  |               |                  |               |                  |               |                  |               |                  |               |                  |               |                  |               |                  |
|----------|------------------|---------------|------------------|---------------|------------------|---------------|------------------|---------------|------------------|---------------|------------------|---------------|------------------|---------------|------------------|---------------|------------------|
| A-1 (A1) | A-9 (TYPE A1 MR) | A-8 (TYPE A1) | A-8 (TYPE A1 MR) | A-7 (TYPE A1) | A-7 (TYPE A1 MR) | A-6 (TYPE A1) | A-6 (TYPE A1 MR) | A-5 (TYPE A1) | A-5 (TYPE A1 MR) | A-4 (TYPE A1) | A-4 (TYPE A1 MR) | A-3 (TYPE A1) | A-3 (TYPE A1 MR) | A-2 (TYPE A1) | A-2 (TYPE A1 MR) | A-1 (TYPE A1) | A-1 (TYPE A1 MR) |
| A1-1     | A1-2             | A1-3          | A1-4             | A1-5          | A1-6             | A1-7          | A1-8             | A1-9          | A1-10            | A1-11         | A1-12            | A1-13         | A1-14            | A1-15         | A1-16            | A1-17         | A1-18            |

Common Plot I



- |                 |                 |              |                 |              |                 |              |                 |              |                 |              |                 |              |
|-----------------|-----------------|--------------|-----------------|--------------|-----------------|--------------|-----------------|--------------|-----------------|--------------|-----------------|--------------|
| B-31            | B-30            | B-29         | B-28            | B-27         | B-26            | B-25         | B-24            | B-23         | B-22            | B-21         | B-20            | B-19         |
| B-7 (TYPE B MR) | B-6 (TYPE B MR) | B-6 (TYPE B) | B-5 (TYPE B MR) | B-5 (TYPE B) | B-4 (TYPE B MR) | B-4 (TYPE B) | B-3 (TYPE B MR) | B-3 (TYPE B) | B-2 (TYPE B MR) | B-2 (TYPE B) | B-1 (TYPE B MR) | B-1 (TYPE B) |

CP (S)

VP (S)

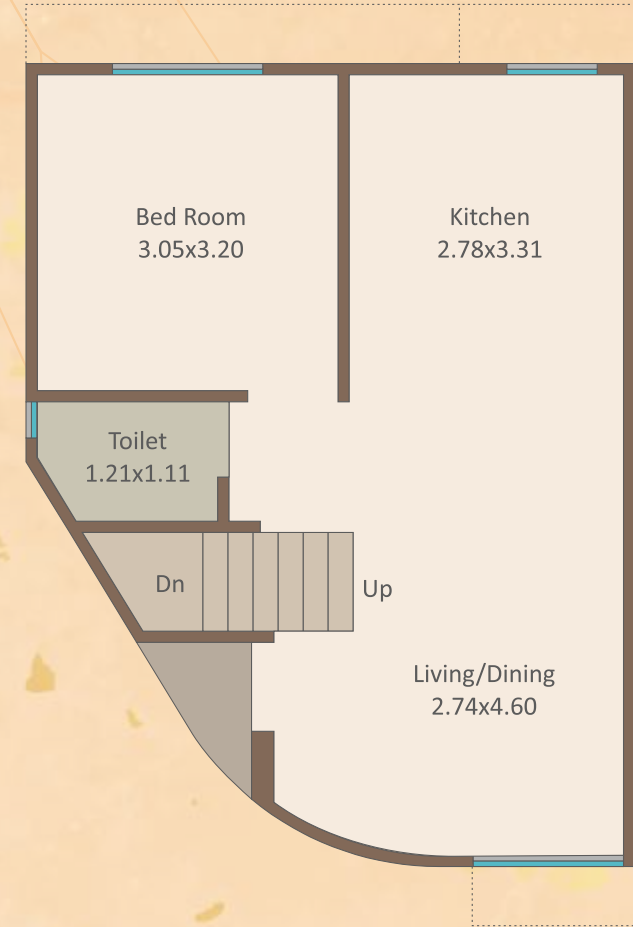
Plot No. 32A

- |           |                 |              |                 |              |                 |              |                 |              |                 |              |                 |              |           |
|-----------|-----------------|--------------|-----------------|--------------|-----------------|--------------|-----------------|--------------|-----------------|--------------|-----------------|--------------|-----------|
| A-1 (A32) | A-6 (TYPE A MR) | A-6 (TYPE A) | A-5 (TYPE A MR) | A-5 (TYPE A) | A-4 (TYPE A MR) | A-4 (TYPE A) | A-3 (TYPE A MR) | A-3 (TYPE A) | A-2 (TYPE A MR) | A-2 (TYPE A) | A-1 (TYPE A MR) | A-1 (TYPE A) | A-1 (A45) |
| A-32      | A-33            | A-34         | A-35            | A-36         | A-37            | A-38         | A-39            | A-40         | A-41            | A-42         | A-43            | A-44         | A-45      |

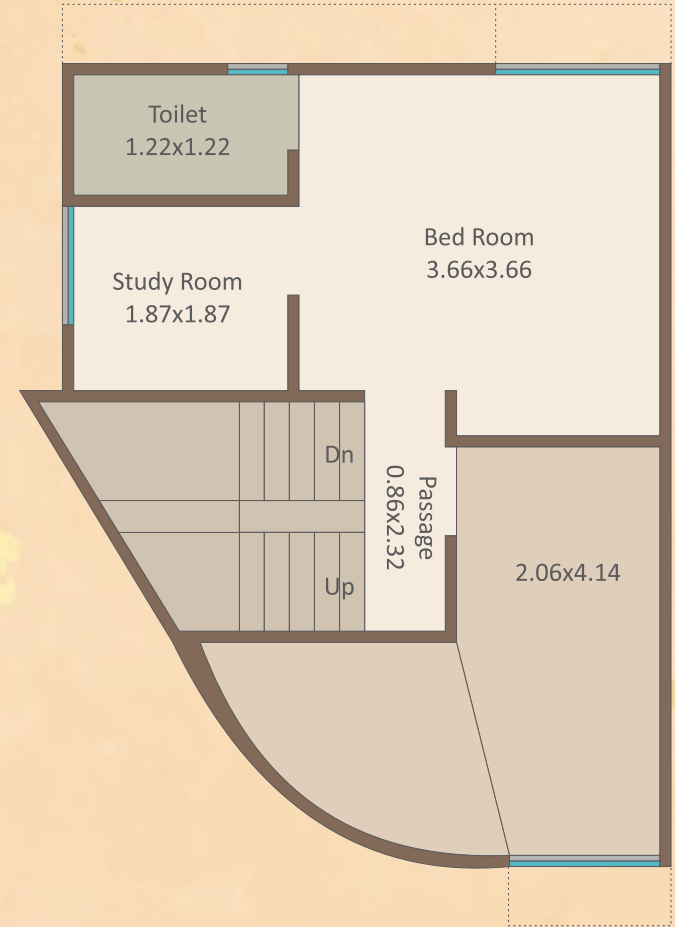
Common Plot 2



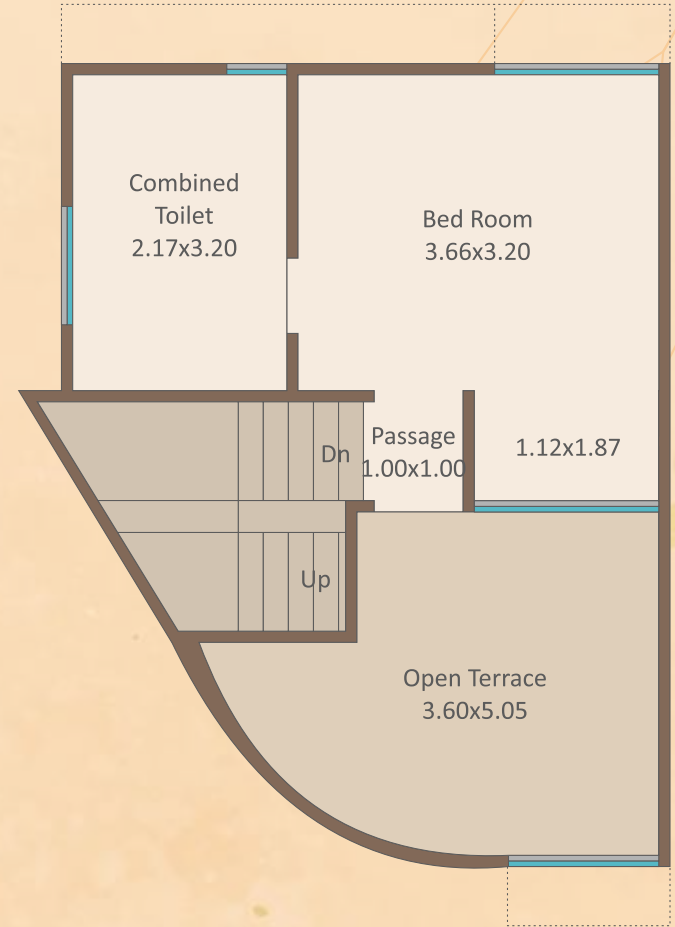
# A (A32)



GROUND FLOOR PLAN



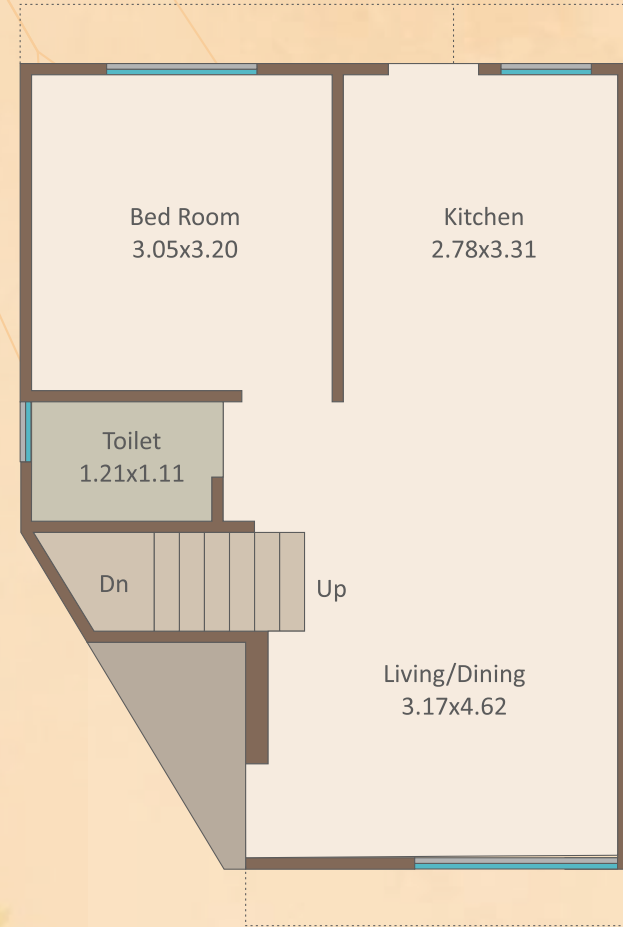
FIRST FLOOR PLAN



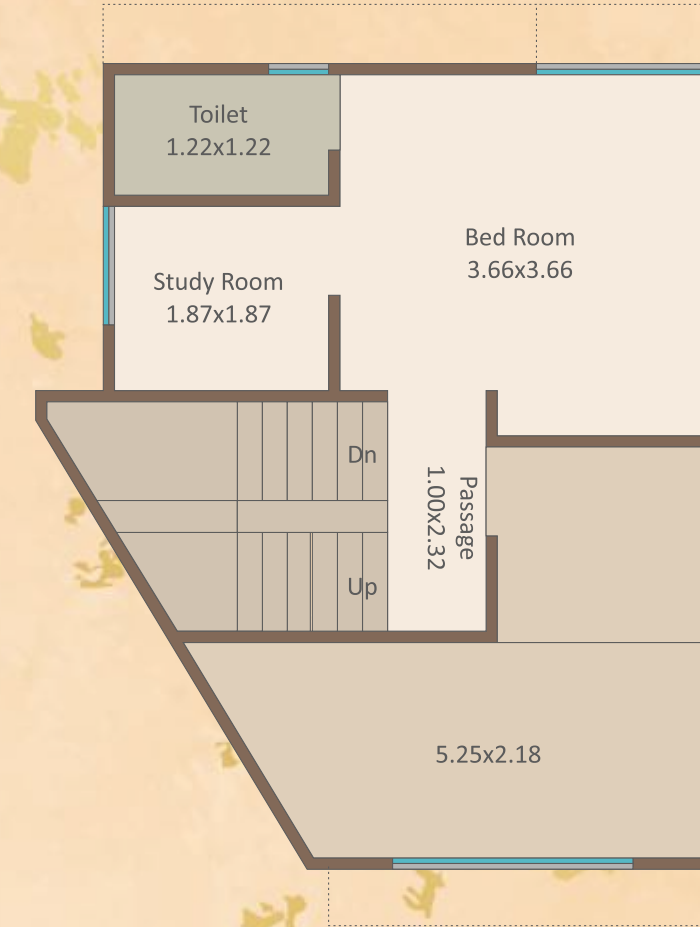
SECOND FLOOR PLAN



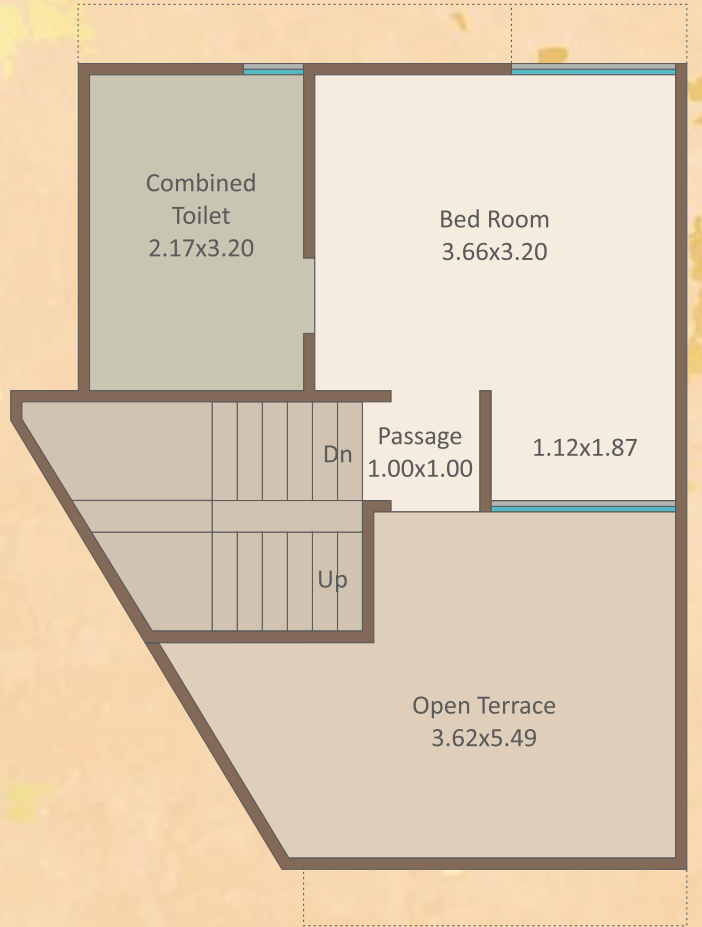
# A (A1)



GROUND FLOOR PLAN

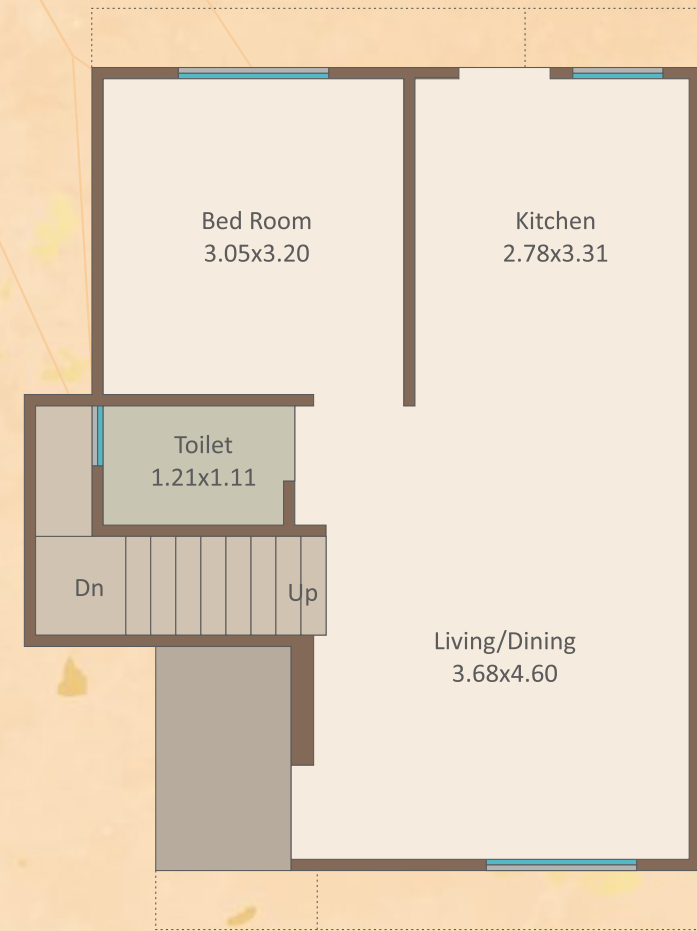


FIRST FLOOR PLAN



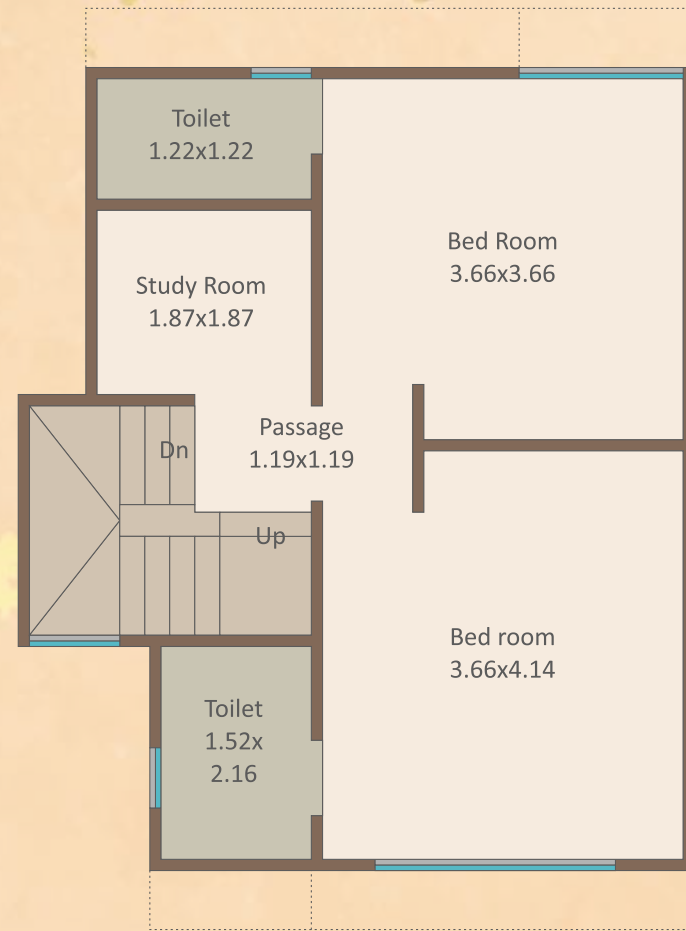
SECOND FLOOR PLAN

# A (TYPE A)

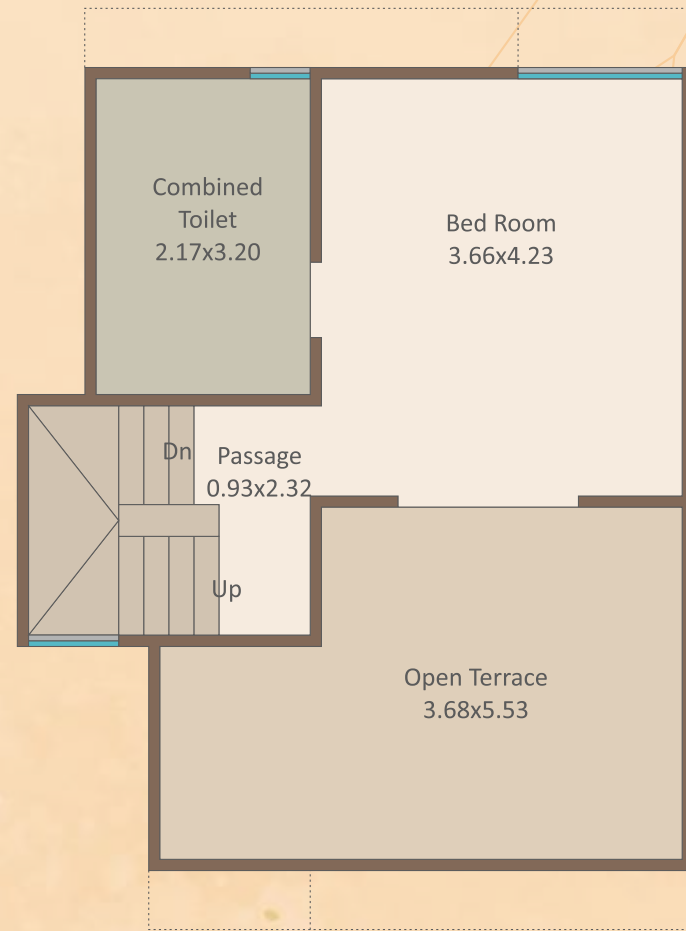


GROUND FLOOR PLAN

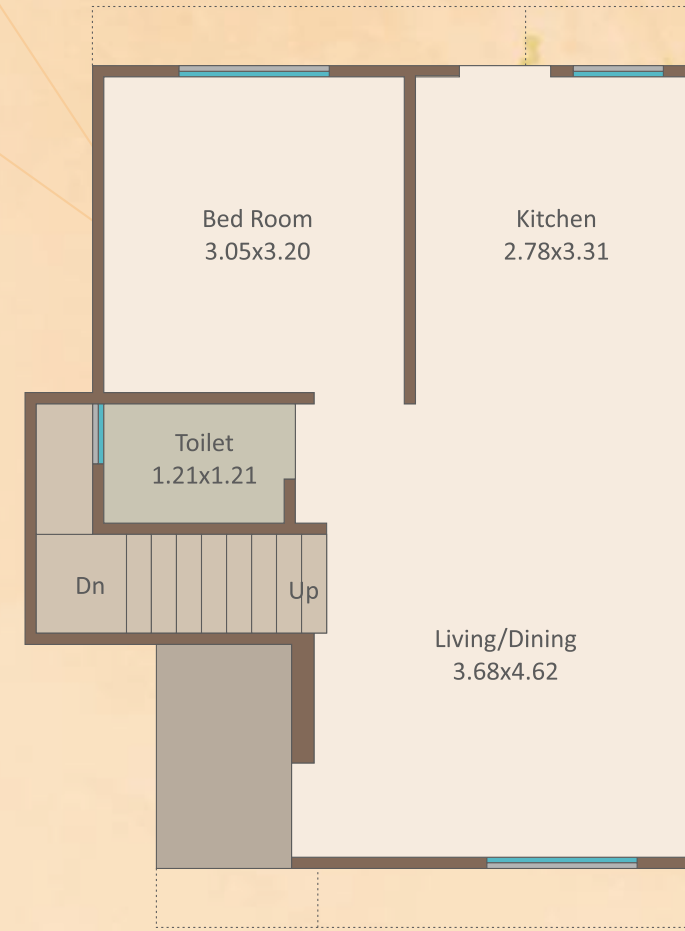
# A (TYPE A1)



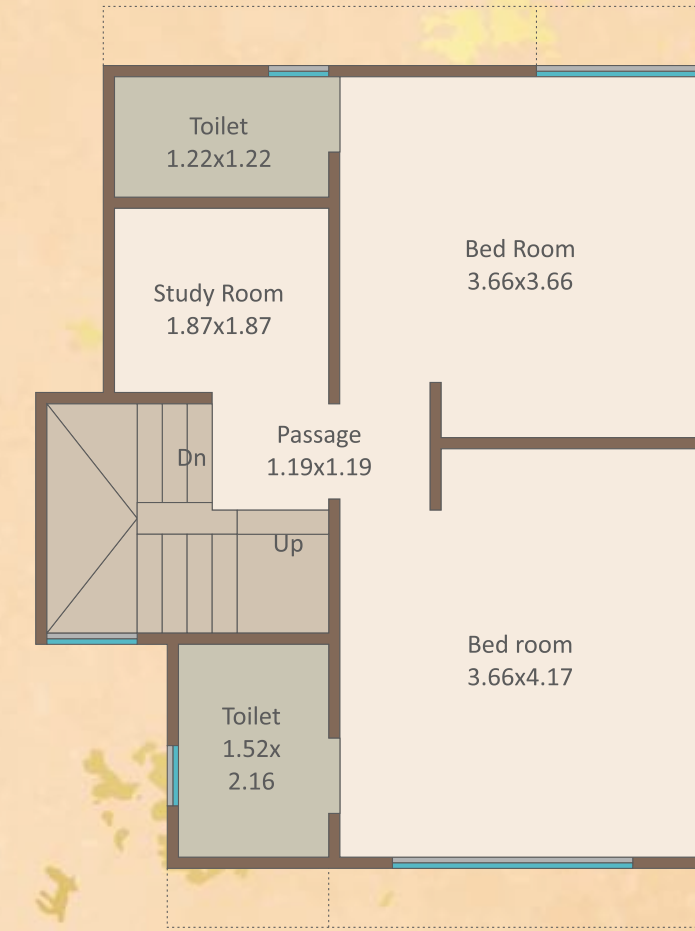
FIRST FLOOR PLAN



SECOND FLOOR PLAN



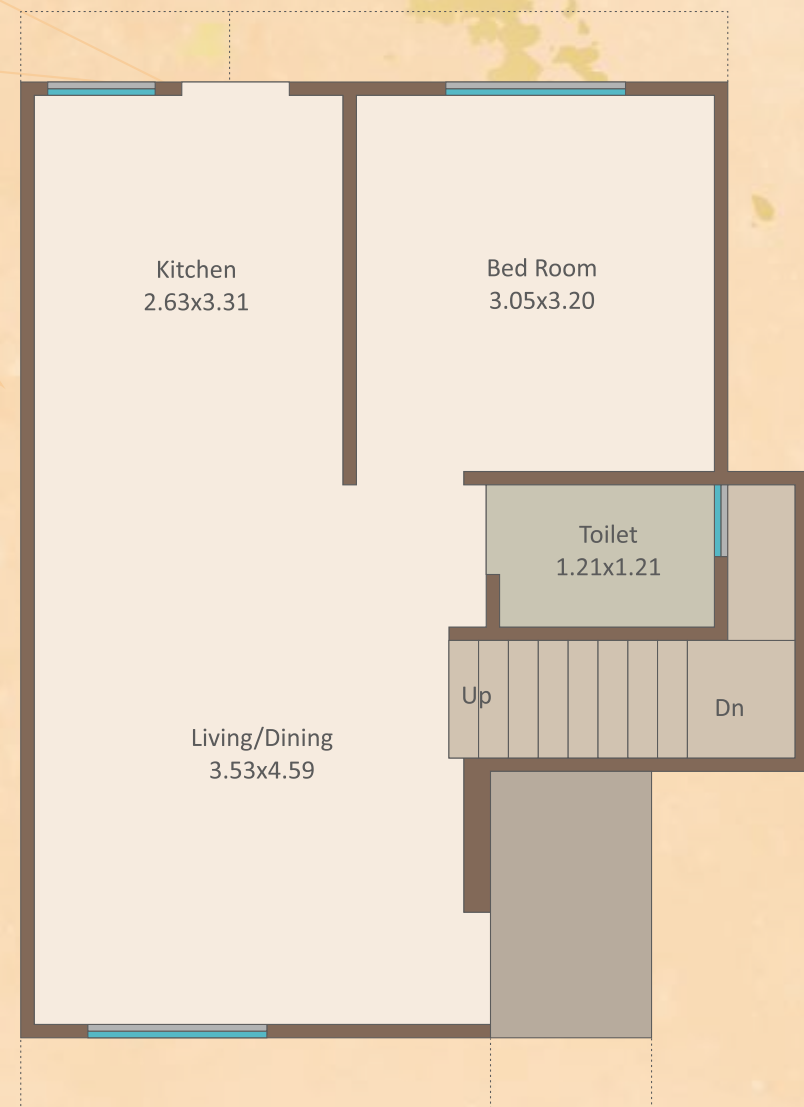
GROUND FLOOR PLAN



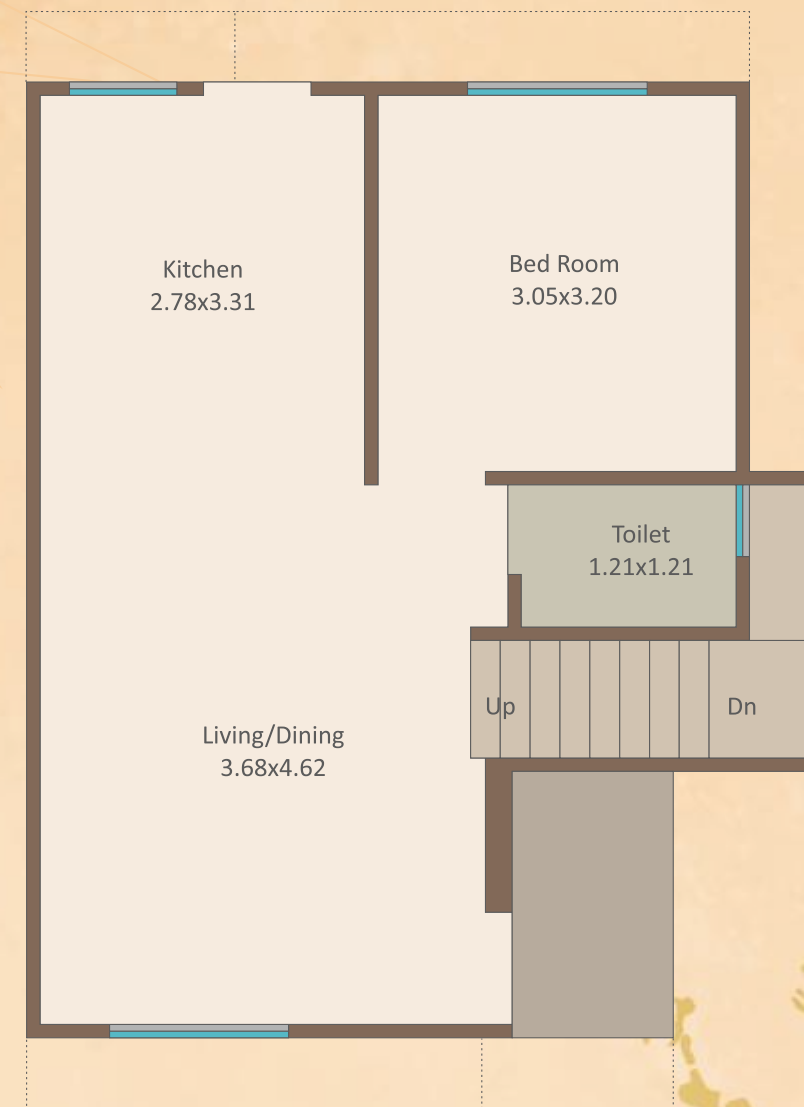
FIRST FLOOR PLAN



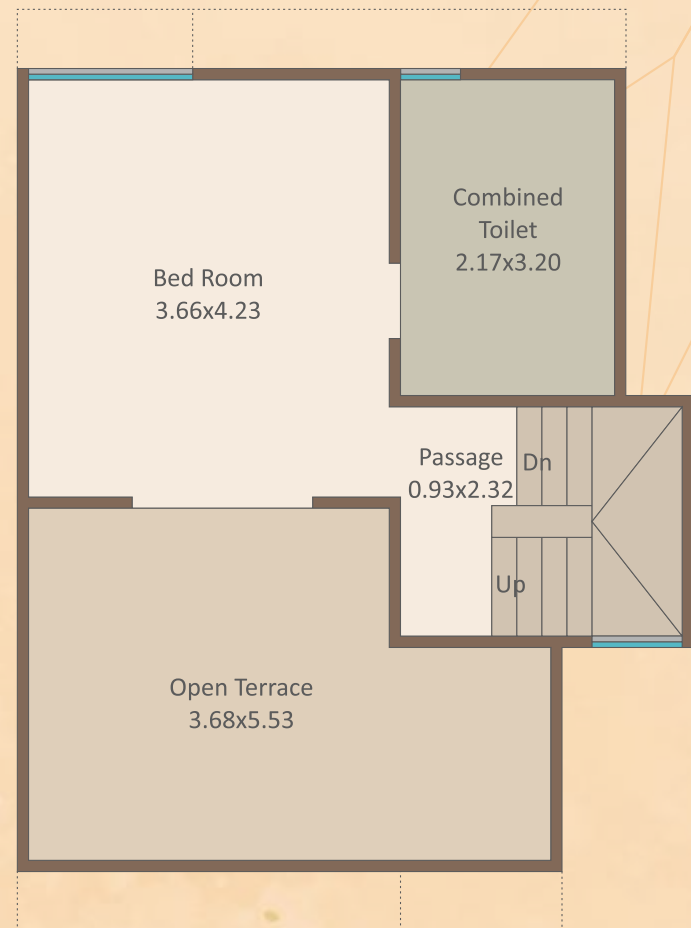
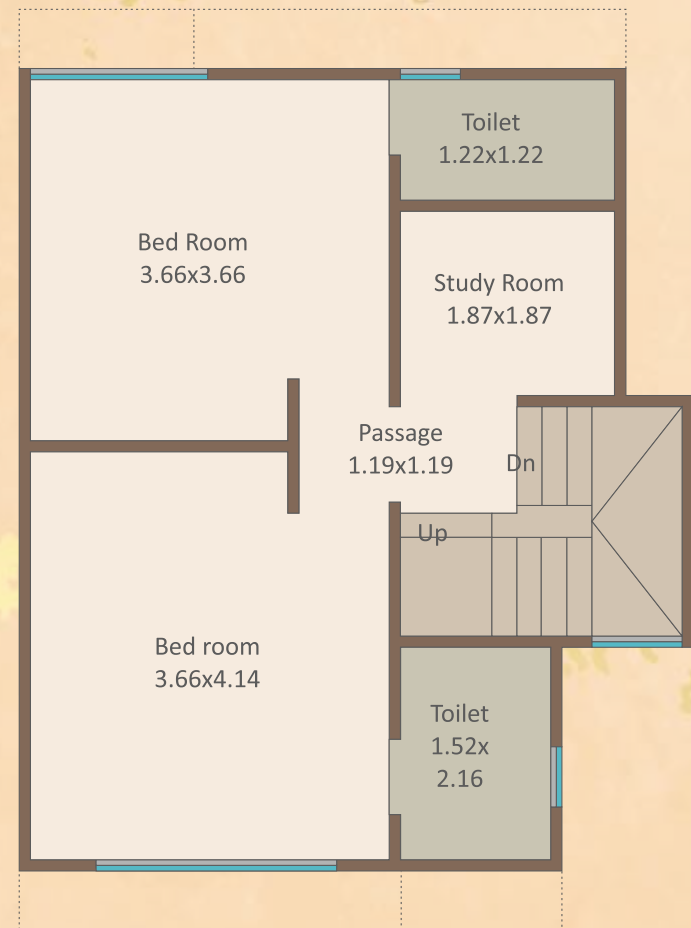
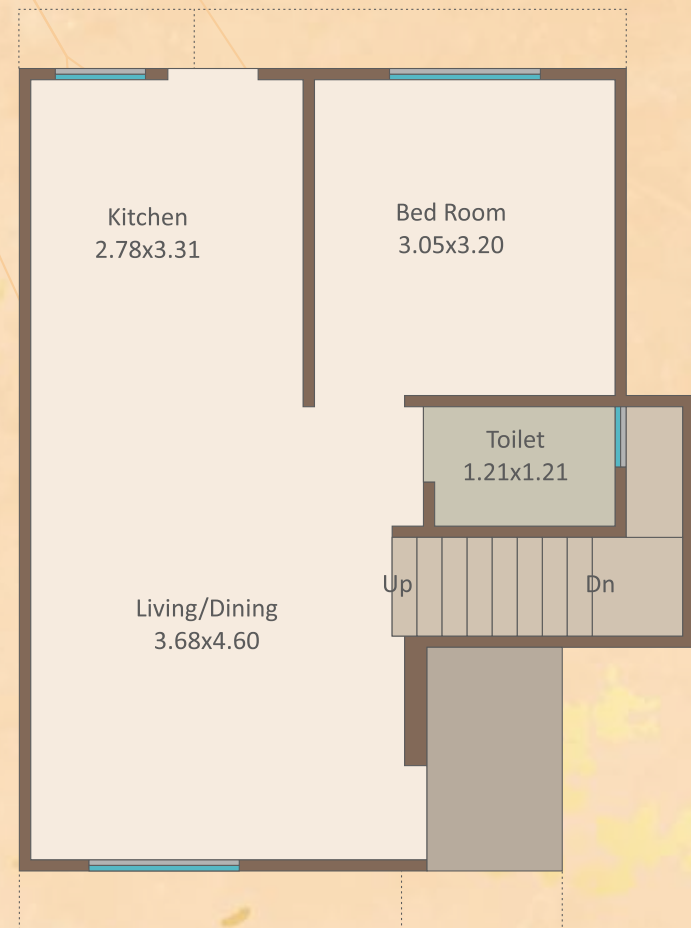
### B (TYPE B MR)



### A (TYPE A1 MR)



## A (TYPE A MR)



## SPECIFICATION

**RCC STRUCTURE**  
Earthquake resistant RCC frame structural as per structural engineer's design

**FLOORING**  
Vitrified Tiles in all Rooms

**DOOR & WINDOWS**  
Doors : Elegant Laminated Flush doors.  
Windows : Color anodized aluminium section windows with glass of reputed make

**BATHROOMS & TOILETS**  
Designer bathrooms with Premium Glazed Tiles as per architect's suggestion. Premium branded Plumbing fixture and vessels.

**PAINT & FINISH**  
Interiors : Smooth plaster with Wall Putty & Primer  
Exterior : Double coat plaster with Water resistant paint.

**KITCHEN**  
Granite counter with Stainless Steel Sink and tiling upto the door / window level on wall & service platform (Dry Platform)

**ELECTRIFICATION**  
Concealed copper wiring of approved quality  
Modular switches with sufficient electrical point as per architect's plan.

**TERRACE**  
Open terrace finished with chemical water proofing and china mosaic flooring / tiles .

## AMENITIES

-  Exclusive Entrance Gate with Security Cabin
-  Banquet Hall
-  Landscape Garden
-  24x7 Hrs. Water Supply
-  Children's Play Area
-  Compound Wall as per Architect's Design
-  AC Gymnasium / Indoor Game Room
-  Underground Cabling
-  AC Theater
-  Internal RCC road
-  Name Plate

CLUBHOUSE

