

# Developers: SHREE BALAJI INFRA

Site:

Nr. Narayan Green Woods, Chhani TP 46,

Sama Savli Road,Vadodara

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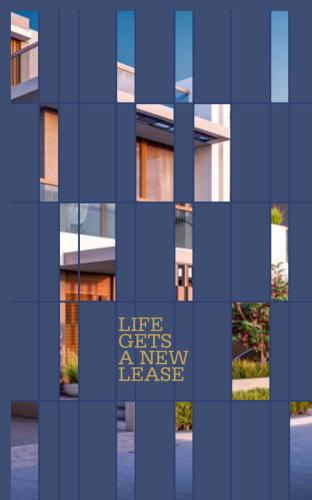
WEB:

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4BHK & 5B2HK LUXURIOUS INDEPENDENT BUNGALOWS























# TYPE-A1







# TYPE-A2









# **AMENITIES**

- Elegant Entrance Gate
- $24 \times 7$  Security Intercom system with security cabin
- CCTV serverllance
- Club house with roof top solar system
- AC Gymnasium with the latest equipment
- Multipurpose hall with mini home theater
- Wifi zone in Club House
- Lush green garden with jogging track
- Children play area
- Informal sitting
- 9.00 mtr. trimix internal road with paved blocks
- Designed led street pools
- 24 hours water supply
- Underground cabling
- Each Bunglows 4K.W. Solar system



## **VALUABLE AMENITIES**

- Video Door Security System
- RO Water Purifier System For Health & Hygiene
- Individual Water Softener Plant With Common Bore Well
- Fire Extinguisher for common areas
- Anti-termine Treatment With Porous Pipe In Each Bungalow
- Number Plates On Each Unit To Maintain Uniformaity





## **SPECIFICATION**



### STRUCTURE:

- All RCC & Masonry work as per structural Engineer's design
- Elevation work as per Architect Design.



# DOORS & WINDOWS:

- Attractive Entrance Door with wooden frames with standard quality safety lock
- Others are flush doors with granite frames and Both side decorative laminate,
- Fully Glazed aluminum powder coated dumal(UPVC) section windows with safety grills & mosquito nets



# FLOORING:

- Vitrified tiles Flooring in all rooms.
- Granite flooring in stair case with S.S. railing



## **BATHROOMS:**

- Designer Glazed tiles Fitting
- Designer bathroom with premium quality fitting & vessels
- Concealed internal plumbing



• Granite Platform with Modern Sink & designer tiles



### **ELECTRIFICATION:**

- Concealed copper ISI wiring & Branded modular switches with sufficient point in kitchen and all bedroom with ELCB switch for your family safety
- AC points in all bedrooms & living room with copper piping.



### PAINT & FINISH:

- Internal: Smooth cement plaster with putty, Plastic emulsion paints
- External : Double coat plaster with acrylic paint for weather proof.



### WATER SUPPLY

- Underground & Overhead Water tank
- Submersible Pump with auto sensor



#### TERRACE:

• Open terrace finished with China Mosiac/Tiles Flooring





### CREDITS-

PROJECT MANAGED BY

ARCHITECT: **A**SQUARE

AR. KETAN PATEL

STRUCTURE:

ANIL MISTRY (SVN CONSULTANT) PLUMBING CONSULTANT:

Krupalu Consultant PINAKIN PATEL

ELECTRICAL CONSULTANT:

> ORIENTAL ELECTERICAL DAKSHESH DAVE

10% Booking | 10% after Booking of 1 month | 15% Plinth Level | 15% Ground Floor Slab | 15% First Floor Slab | 15% Second Floor Slab | 10% At Plaster 05% At Flooring | 05% On Finishing

Terms & Conditions: • Possession will be given after one month of settlement of account. • Extra work will be executed after receipt of full advance payment • Stamp duty, Registration charge, GST tax or any New Central Govt., VMC taxes. If applicable shall have to be borne by the client. • Continuous default payments leads to cancellation • Architect/Developers shall have the rights or revise the scheme of any details, here in and any change or revision will be binding to all. • Incase of delay in light connection by authority, developers will not be responsible • All dimensions are indicative and actual dimensions in each room, plot are & S.B.A might vary • Common compound wall be as per architect's design • In case cancellation of booking, 5% of the total value of the bungalow & Payable tax will not be refunded • Any plans, specifications of information in this brochure can not form party of an offer, contract or agreement • All members shall have to essentially be the part of the society formed by the association members and shall have to abide by the society by laws. 4 After virtual completion of the work all the repair and the maintenance other drainage, watchman salary, electricity bill etc. shall be borne by society members • Members of society are not allowed to change elevation of duplex in any circumstances • This brochure shall not be treated as a legal document, it is

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