



Developers:
SHREE BALAJI INFRA

Site:
Nr. Narayan Green Woods,
Chhani TP 46,
Sama Savli Road, Vadodara

Email:
sanidhyasparkle@gmail.com

WEB:
www.sanidhyagroup.com

Mob.:
74330 75556

સાનિધિ
SPARKLE

4BHK & 5B2HK LUXURIOUS
INDEPENDENT BUNGALOWS

LIFE
GETS
A NEW
LEASE



LIFE GETS
A NEW LEASE






CLUB HOUSE & LAYOUT PLAN



 **TYPE-A**



 **TYPE-A2**



 **TYPE-A1**



AMENITIES

- Elegant Entrance Gate
- 24 x 7 Security Intercom system with security cabin
- CCTV serverllance
- Club house with roof top solar system
- AC Gymnasium with the latest equipment
- Multipurpose hall with mini home theater
- Wifi zone in Club House
- Lush green garden with jogging track
- Children play area
- Informal sitting
- 9.00 mtr. trimix internal road with paved blocks
- Designed led street pools
- 24 hours water supply
- Underground cabling
- Each Bunglows 4K.W. Solar system



VALUABLE AMENITIES

- Video Door Security System
- RO Water Purifier System For Health & Hygiene
- Individual Water Softener Plant With Common Bore Well
- Fire Extinguisher for common areas
- Anti-termine Treatment With Porous Pipe In Each Bungalow
- Number Plates On Each Unit To Maintain Uniformity





SPECIFICATION



STRUCTURE:

- All RCC & Masonry work as per structural Engineer's design
- Elevation work as per Architect Design.



DOORS & WINDOWS:

- Attractive Entrance Door with wooden frames with standard quality safety lock
- Others are flush doors with granite frames and Both side decorative laminate,
- Fully Glazed aluminum powder coated dual(UPVC) section windows with safety grills & mosquito nets



FLOORING:

- Vitrified tiles Flooring in all rooms.
- Granite flooring in stair case with S.S. railing



BATHROOMS:

- Designer Glazed tiles Fitting
- Designer bathroom with premium quality fitting & vessels
- Concealed internal plumbing



KITCHEN:

- Granite Platform with Modern Sink & designer tiles



ELECTRIFICATION:

- Concealed copper ISI wiring & Branded modular switches with sufficient point in kitchen and all bedroom with ELCB switch for your family safety
- AC points in all bedrooms & living room with copper piping.



PAINT & FINISH:

- Internal : Smooth cement plaster with putty, Plastic emulsion paints
- External : Double coat plaster with acrylic paint for weather proof.



WATER SUPPLY

- Underground & Overhead Water tank
- Submersible Pump with auto sensor



TERRACE:

- Open terrace finished with China Mosiac/Tiles Flooring



KEY PLAN



CREDITS

PROJECT
MANAGED BY



ARCHITECT:

ASQUARE
AR. KETAN PATEL

STRUCTURE:

ANIL MISTRY
(SVN CONSULTANT)

PLUMBING
CONSULTANT:

**Krupalu
Consultant**
PINAKIN PATEL

ELECTRICAL
CONSULTANT:

**ORIENTAL
ELECTERICAL**
DAKSHESH DAVE

MODE OF PAYMENT :

**10% Booking | 10% after Booking of 1 month | 15% Plinth Level | 15% Ground Floor Slab | 15% First Floor Slab | 15% Second Floor Slab | 10% At Plaster
05% At Flooring | 05% On Finishing**

Terms & Conditions: • Possession will be given after one month of settlement of account. • Extra work will be executed after receipt of full advance payment • Stamp duty, Registration charge, GST tax or any New Central Govt., VMC taxes. If applicable shall have to be borne by the client. • Continuous default payments leads to cancellation • Architect/Developers shall have the rights or revise the scheme of any details, here in and any change or revision will be binding to all. • Incase of delay in light connection by authority, developers will not be responsible • All dimensions are indicative and actual dimensions in each room, plot are & S.B.A might vary • Common compound wall be as per architect's design • In case cancellation of booking, 5% of the total value of the bungalow & Payable tax will not be refunded • Any plans, specifications of information in this brochure can not form party of an offer, contract or agreement • All members shall have to essentially be the part of the society formed by the association members and shall have to abide by the society by laws. 4 After virtual completion of the work all the repair and the maintenance other drainage, watchman salary, electricity bill etc. shall be borne by society members • Members of society are not allowed to change elevation of duplex in any circumstances • This brochure shall not be treated as a legal document, it is only for the purpose information.

For further details visit: www.gujrera.gujarat.gov.in under registered project.

Above project is registered under Gujrera. Rera Reg. No.: PR/GJ/VADODARA/VADODARA/Others/