



**Developers:** Rudra Developers

**SITE ADDRESS :**

Somnath Heritage, Beside Roseland Residency,  
Opp. Vrudavan Duplex, Sama Savli Road, Vadodara.

**M :** 93271 14074

**E :** rudradevelopers64@gmail.com

**Architect:**



**Structural Consultant:**  
KAMBAD ENGINEER

**Payment Terms:**

Booking 20% | Plinth 10% | Ground Slab 8% | 1st Slab 8% | 2nd Slab 8% | 3rd Slab 8% | 4th Slab 8% | 5th Slab 8% | 6th Slab 8%  
7th Slab 8% | Plaster 3% | Flooring 3%

**Notes :** (1) Possession will be given after 45 Days of settlements of all accounts. (2) Extra work will be executed after receipt of full advance payment. (3) Documentation charges, stamp duty, GST, common maintenance charge, etc will be extra. (4) Any new central or state government taxes, if applicable shall have to be borne by the client. (5) Continuous default payment leads to cancellation. (6) administrative expense of 20,000/- & the amount of extra work (if any) will be deducted from refund amount. (7) Refund in case of cancellation will be made within 30 days from the date of booking of new client only. (8) In case of delay of water supply, light connection, drainage work by VMSS/MGVCL developers will note be responsible. (9) Architect / Developers shall have the right to change or rise the scheme or any details herein and any change of revision will be binding to all. (10) Any plans, specifications or information in this brochure can not from part of an offer, contract or agreement. (11) All members shall have to essentially be the part of the society formed by the association members and shall have to abide by the society laws. (12) In Case of any Legal issues Vadodara Judicial Only.

RERA NO: | RERA Website: gujrera.gujarat.gov.in

ZURICH 822047913 13D Visualisation by LUCID - The Artistry

3 BHK PREMIUM APARTMENTS



#### Safety Features

- Closed Circuit Television(CCTV)System with Surveillance Cameras at Strategic Locations in Common Parking Area
- Gated community with round the clock security
- Fire Safety

#### Energy Saving Features

- Level controllers in water tanks to avoid wastage
- Use of premium energy saving electrical and plumbing fixtures

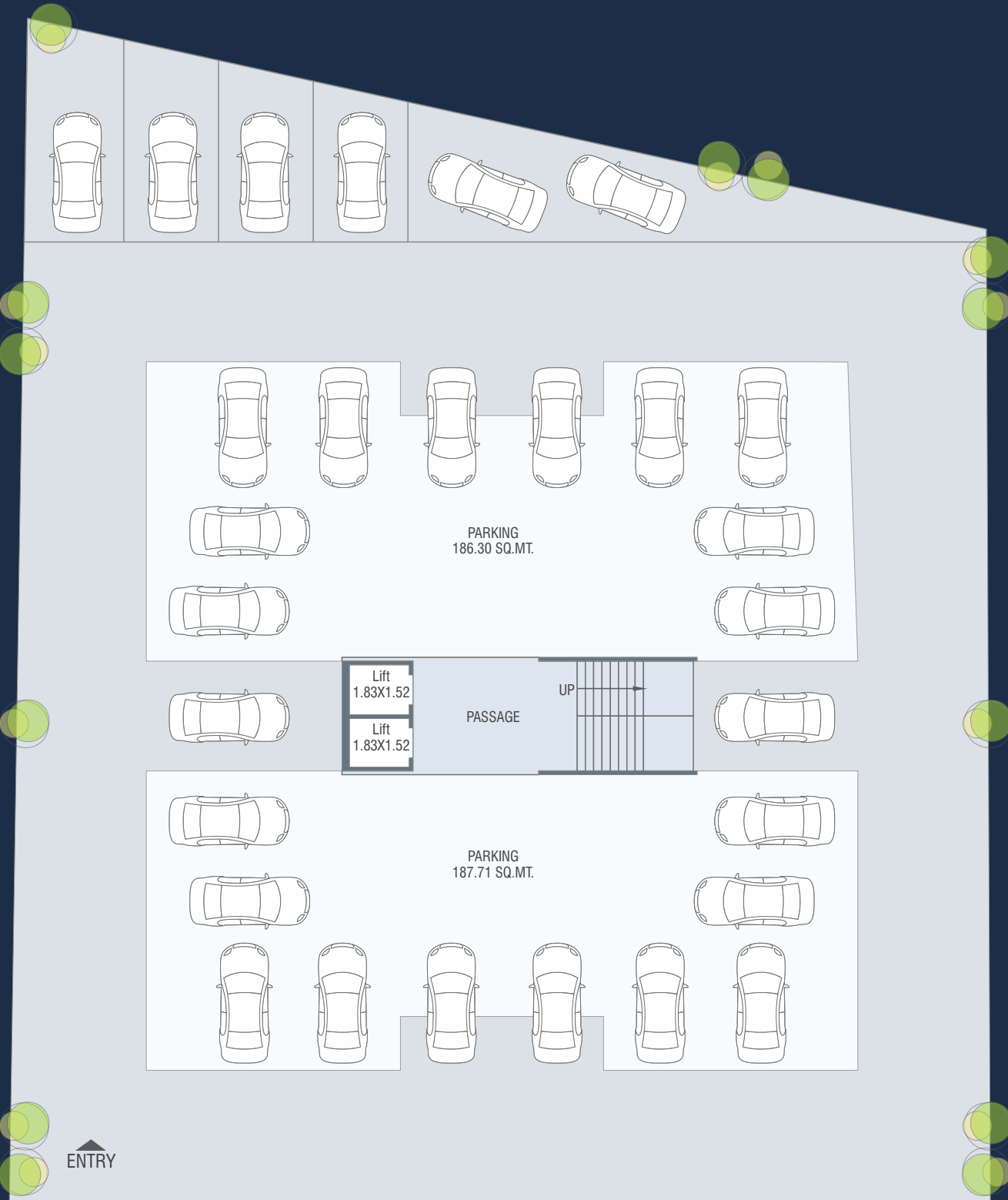
#### Salient Features

- Premium branded 2 elevators
- Power Backup (for common amenities)
- Uninterrupted water supply & Corporation Drainage
- 24 hours water supply
- Ground Level Parking

#### Designer Features

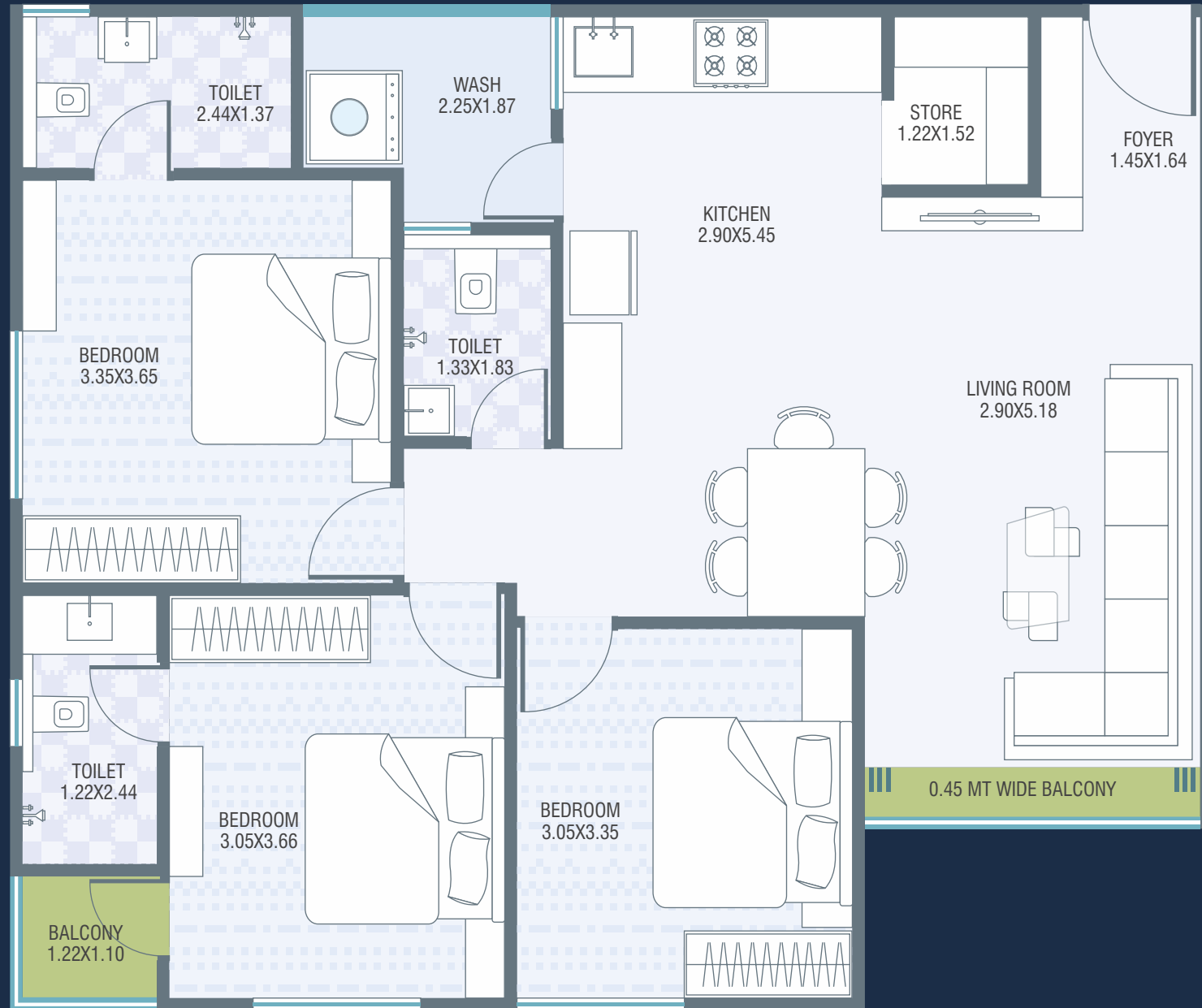
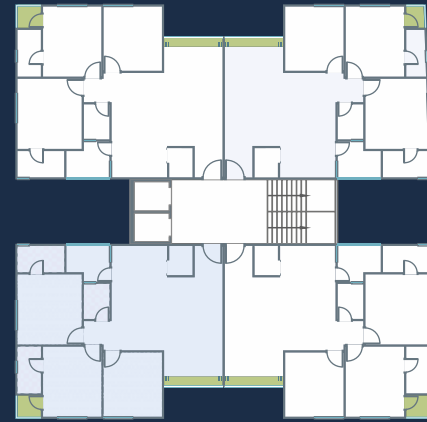
- Plush elevation with concrete Block and cement finish for a timeless look
- Terrace development with landscaping features

GROUND  
FLOOR LAYOUT



TYPICAL  
FLOOR LAYOUT  
1<sup>st</sup> - 7<sup>th</sup> Floor







## SPECIFICATION

### STRUCTURE:

Earthquake Resistance RCC Frame structure as per structural engineer's design.

### FLOORING:

Vitrified Flooring in Living, dining, kitchen and all the bedrooms. Parking tiles in parking Area.

### BATHROOMS & TOILETS:

Western concept designed toilets. Concealed plumbing with premium brand fittings. Geyser point in each bathroom. Anti-skid ceramic tiles flooring & wall tiles up to lintel level.

### PLUMBING:

Wall concealed CPV/UPVC plumbing fitting. Washing machine point in wash area.

### KITCHEN:

Granite platform with SS kitchen sink and designer tiles up to lintel level over the platform.

### DOOR & WINDOWS:

Decorative main door with standard safety lock and fittings. All other internal doors are flush doors with laminates and stone frame. Aluminium section windows with reflective glass.

### ELECTRIFICATION:

Concealed copper ISI Wiring and good quality modular switches with sufficient points. AC point in master bedroom with AC copper concealed. MCB in main distribution board.

### FINISHING:

Finish plaster with double coat wall putty and primer on internal walls. External double coat plaster with weather proof paint.

### TERRACE:

Heat & waterproofing treatment on terrace.

