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SPENSER
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GOLD

SPENSER X GOLD

GIVE THE WORLD THE BEST YOU HAVE, THE BEST WILL COME BACK TO YOU

*How do you exceed extraordinary?
What can be better than the best?*

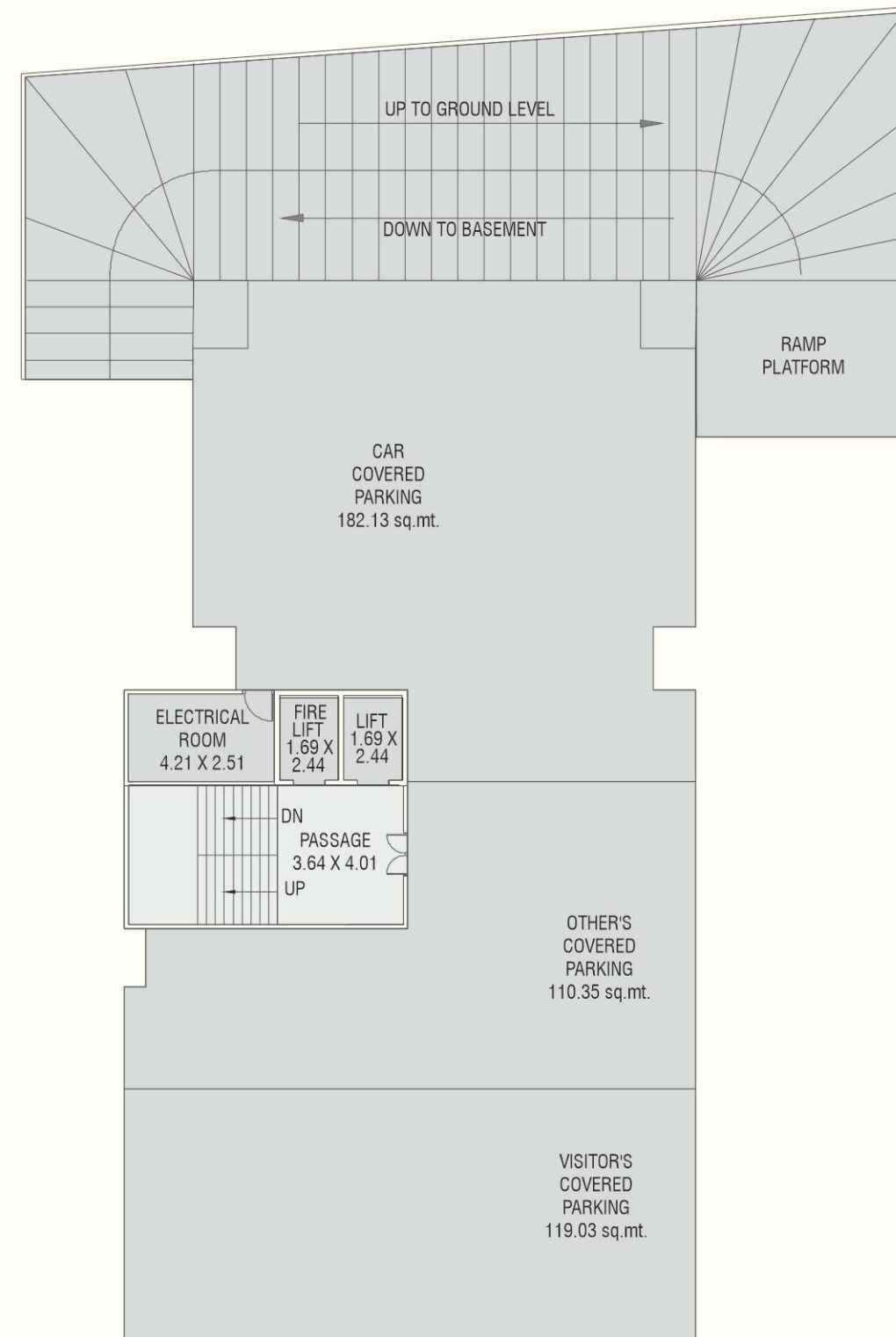
It is not every day that you witness a masterpiece, an aristocratic space that surpasses all expectations.

Presenting Spenser X Gold 4BHK premium boutique residences that outshine everything else.



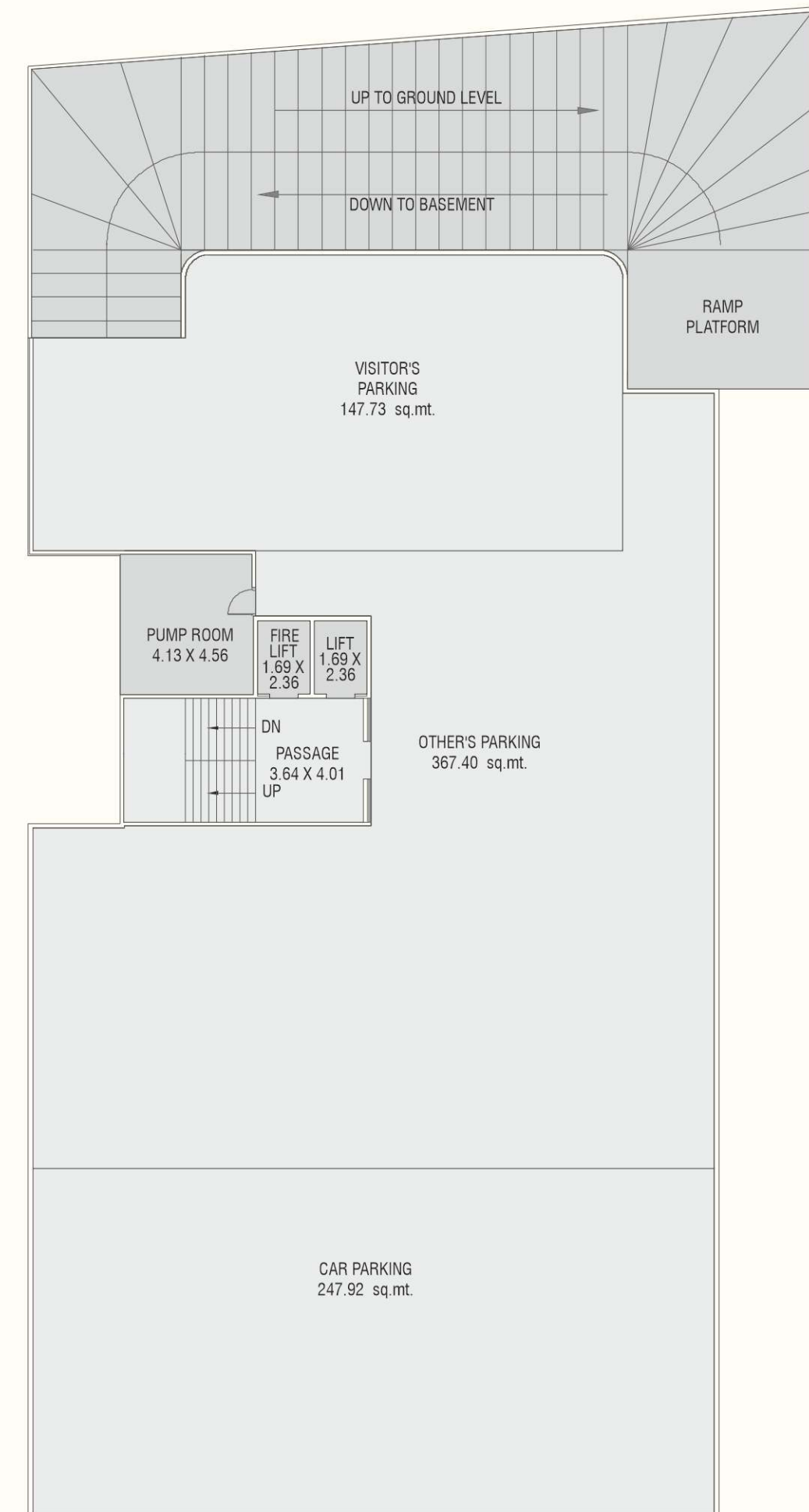
GROUND FLOOR PLAN

BUILT UP AREA = 5031.00 SQ.FT.
PARKING AREA = 4428.00 SQ.FT.



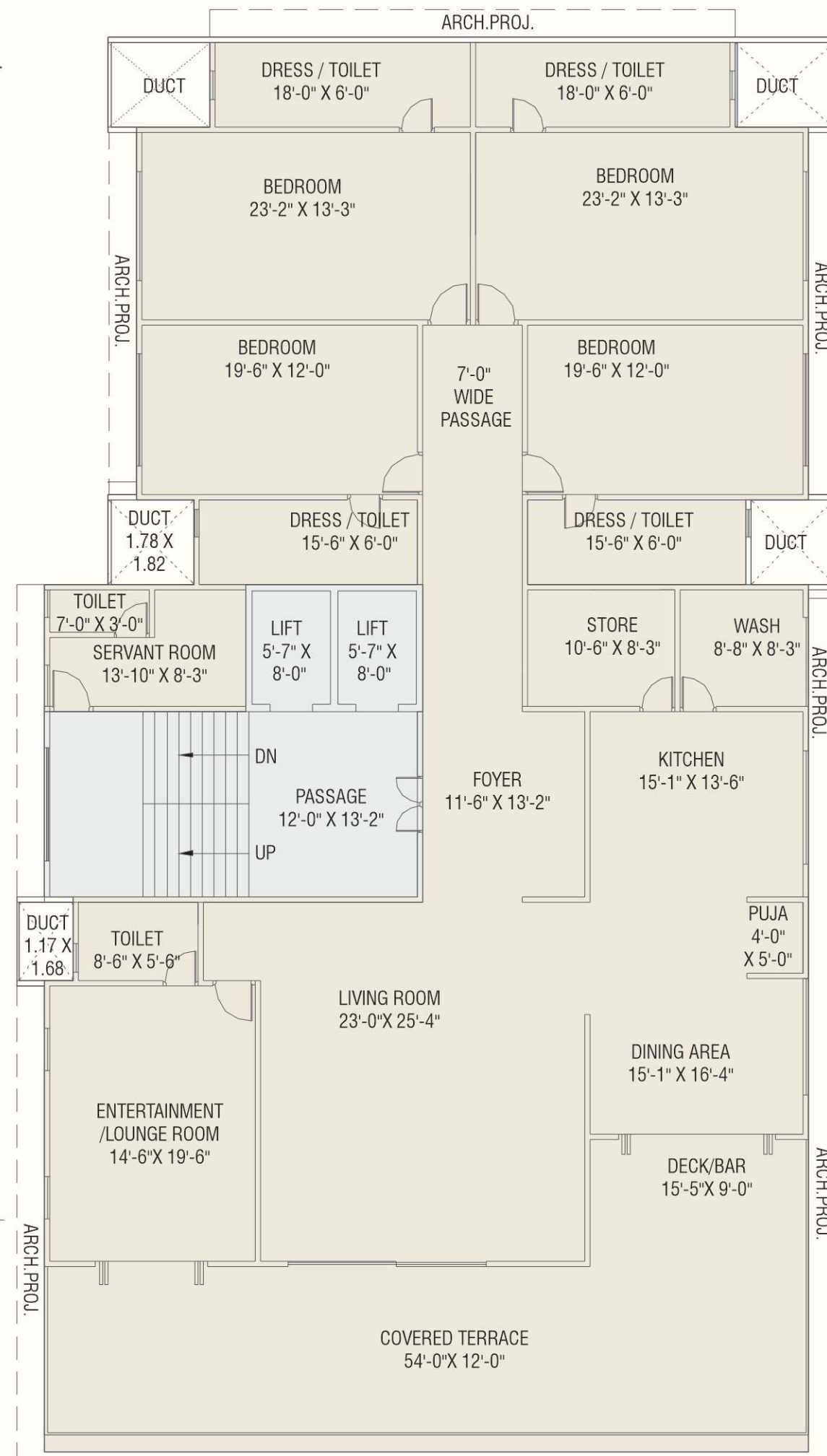
BASEMENT FLOOR PLAN

BUILT UP AREA = 8723.00 SQ.FT.
PARKING AREA = 7593.00 SQ.FT.



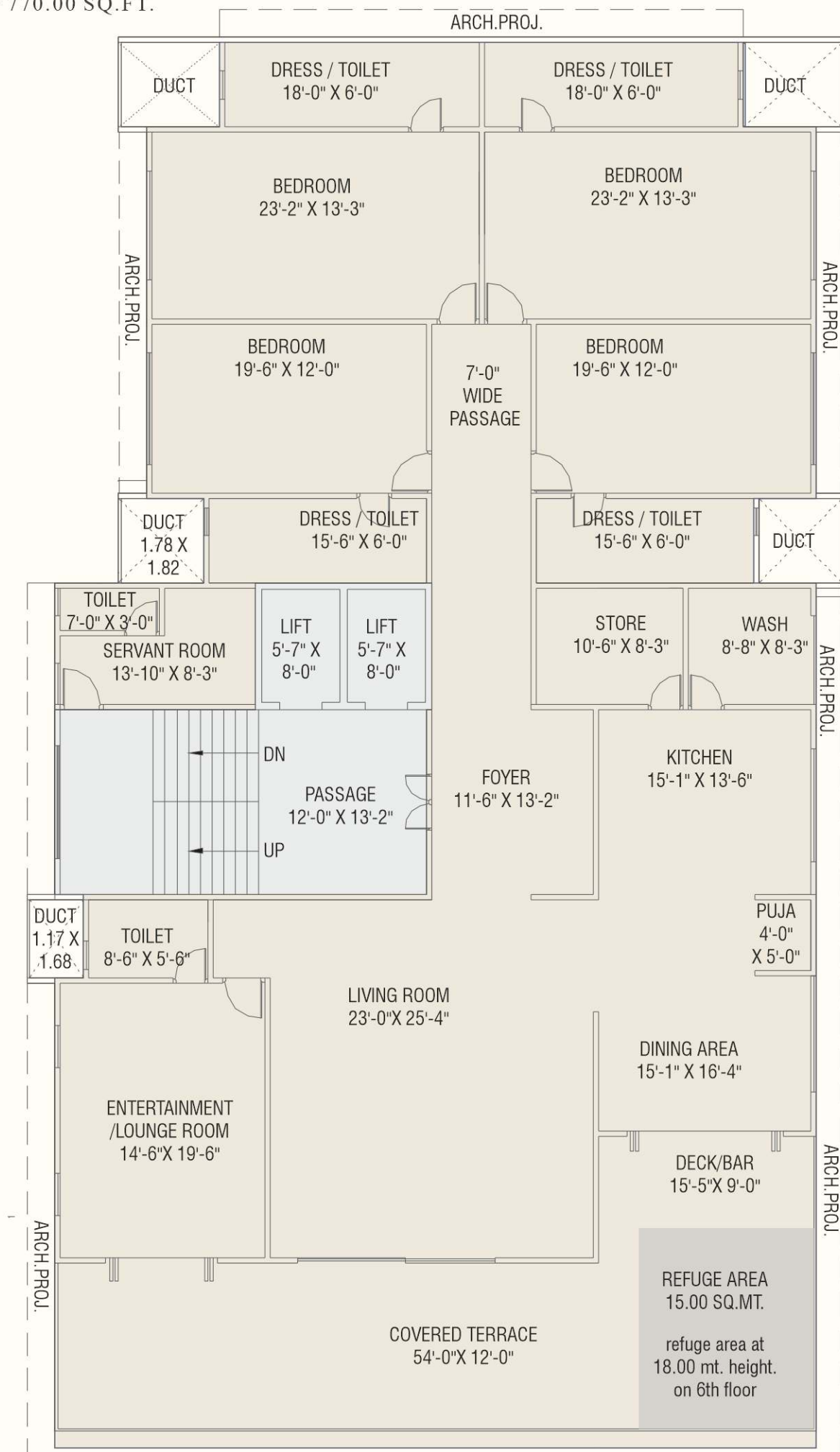
1ST TO 5TH & 7th, 8th FLOOR PLAN

BUILT UP AREA [420.33+42.80] = 4983.00 SQ.FT.
 CARPET AREA = 3421.00 SQ.FT.
 WASH AREA = 74.00 SQ.FT.
 TERRACE AREA = 770.00 SQ.FT.



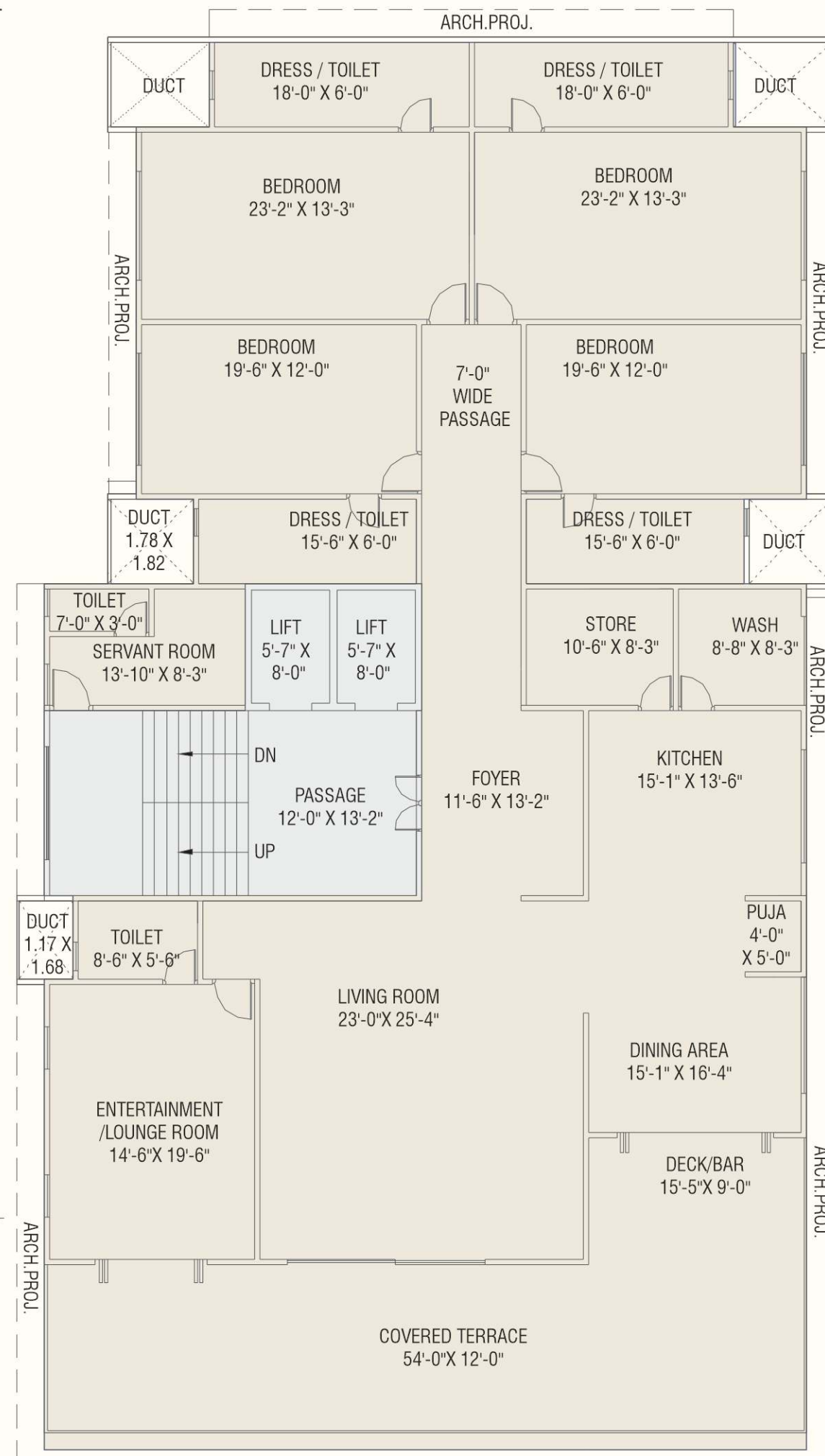
6TH FLOOR PLAN

BUILT UP AREA [420.33+42.80] = 4983.00 SQ.FT.
 CARPET AREA = 3421.00 SQ.FT.
 WASH AREA = 74.00 SQ.FT.
 TERRACE AREA = 770.00 SQ.FT.



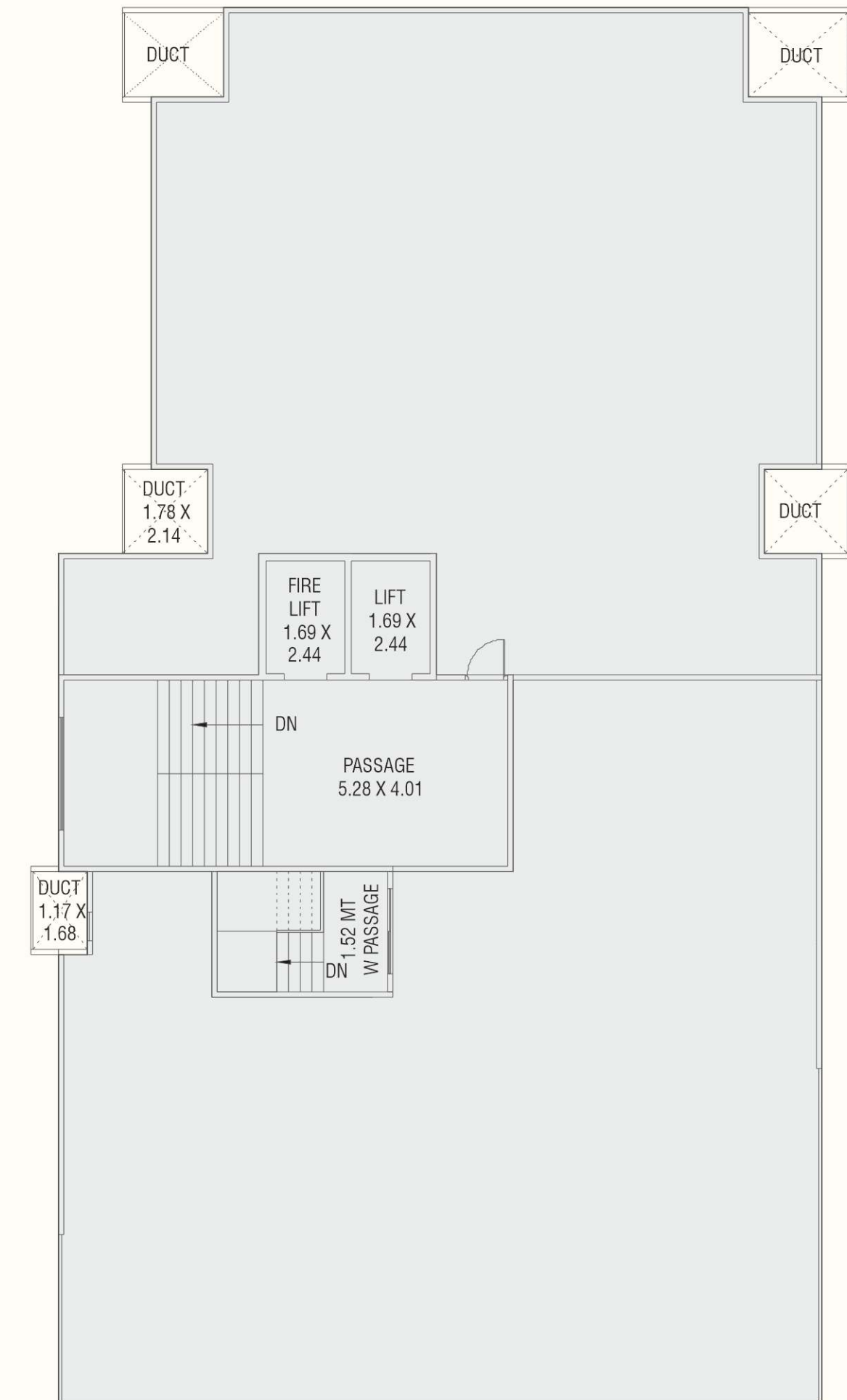
9TH & 10TH FLOOR PLAN

BUILT UP AREA = 4983.00 SQ.FT.
 CARPET AREA = 3421.00 SQ.FT.
 WASH AREA = 74.00 SQ.FT.
 TERRACE AREA = 770.00 SQ.FT.



TERRACE FLOOR PLAN

BUILT UP AREA = 669.00 SQ.FT.
 TERRACE AREA = 20270.00 SQ.FT.



PREMIUM SPECIFICATIONS

STRUCTURE

Shell: RCC frame structure with masonry partition.

Masonry: High quality masonry using high strength bricks with high grade plastering mixed with water proofing for external walls. High quality Block Masonary work with POP Punning in entire apartment.

FLOORING & DADO

Common Area: Lift, lobby wall & floor using Italian Marble /Vitrified Slabs, as per the Architect's design. Premium false ceiling in all lift lobbies.

Car Park Area: Trimix Stamp concrete flooring on Ground Level.

Staircases: Granite flooring with hand railing using stainless steel balustrades.

Apartment Area: Nexion or Lioli brand GVT Crystalline Series Italian color tiles in entire apartment. Size: 8'x4' (color- as per client's choice).

Toilets: Vitrified GVT Crystalline Series 4'x4' Italian color tiles on Wall. Floor with Anti-Slip Tiles.

Sanitary Fittings : Imported water-closet with flush tank & washbasin. High quality imported brand CP fittings.

Balconies, Open Terraces & Decks: Rustic / Antiskid / Ceramic tiles 13cm X 80 cm. All balconies with glass railings and handles.

BATH & SANITARY

- RO System for Entire Apartment
- Hans Grohe (German Make) Bath CP Fittings
- Viega Flush Tanks which conserve water
- Toto or Kohler Sanitary Fittings
- Shower Enclosure
- Vanity Mirror
- False Ceiling in bathrooms with lights
- Exhaust Fan
- Shower Channel Drainer
- Connected Diverter for Hot & Cold Water for Wash Basin and Shower
- Safety Lock for bathrooms (in case of emergency)
- Hot Water Heat Pump for individual apartment

Wash Basins: Porcelain wash basins of KOHLER equivalent make shall be provided in all bathrooms with Kalinga Stone Counter Top for Basin.

Kitchen: Double bowl Stainless Steel Sink with drain board of FRANKE / NIRALI or equivalent make.

Work Area Sink: Single bowl Stainless Steel Sink with drain board of FRANKE / NIRALI or equivalent make.

Cockroach Traps: A detachable stainless steel cockroach trap lid shall be provided in all bathrooms.

Bathroom Accessories: Towel rods, towel ring, soap dish and mirror shall be provided in all bathrooms.

Washing Machine/Dryer/Dish-Washer Point: One cold water inlet and drainage outlet for a washing machine shall be provided in the Utility.

Provision for Dryer and Dish-washer in work area.

Plumbing: All water supply lines shall be ISI marked CPVC pipes. Drainage lines and storm water drain pipes shall be in PVC.

DOORS & WINDOWS

Doors: Veneered Teak Finish Flush Door & Frame with Melamine polish.

Lock: Main Door Lock with handle and video door bell. All Bedrooms with Locks from Bonus or Hettich.

Windows: Aluminium 45mm Jindal or Banco sliding windows with toughened glass and mosquito net.

ELECTRICAL

Concealed copper wiring using Polycab or Finolex. 8 core wire in entire apartment with modular plate switches, centralized cabling system for all electrical and communication requirements. Switches from Norisis. Universal 5 Amp and 15 Amp Power Plugs.

Adequate ELCB and MCB shall be provided in each apartment.

Provision for telephone and Internet shall be provided in the apartment through Fibre To The Home (FTTH).

HEATING / VENTILATION / AIR -CONDITIONING
All bathrooms with Aerosmith or equivalent water heater.

All bedrooms and living and dining will have split type 5-star high value air-conditioners.

100% Electricity Back-up for Common Areas & Units. Twin Gensets for entire building.

WALL FINISH

Ceiling Treatment: False Ceiling with LED Lights in all rooms, bath and kitchen. Premium Emulsion paint shall be applied in the common areas, utility and service areas.

Wall Treatment:
Internal Walls: Plastic Paint of Asian Paints (color - as per client's choice), Service area with Premium Emulsion

External Walls: Weather shield/PROTEK ULTIMA or JOTUN equivalent exterior grade emulsion / texture paint.

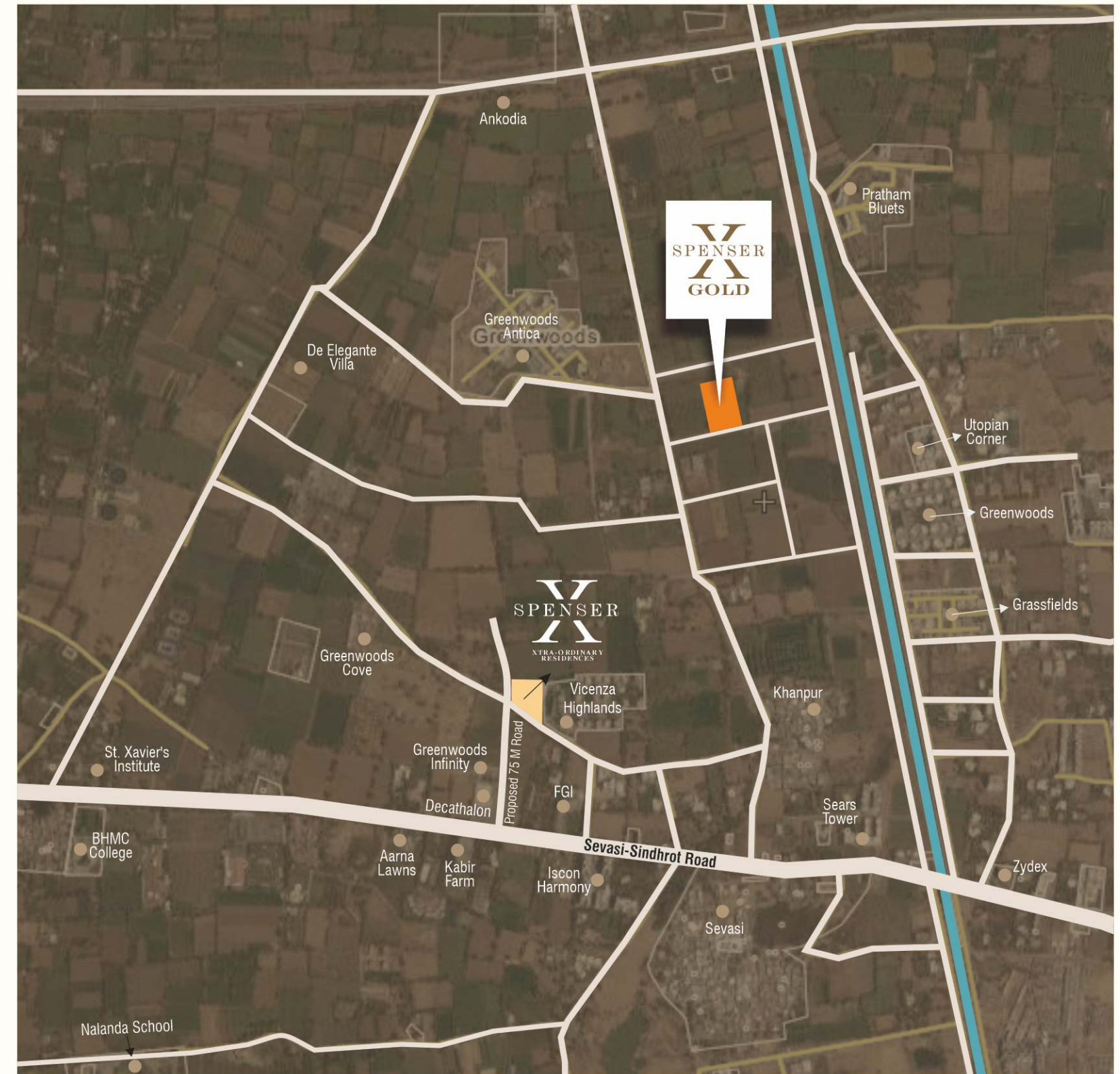
ELEVATORS

High Speed lift with biometric sensors and ARD with automatic doors from SCHINDLER MRL-12 Passenger (2 nos.). Lift Entry via Key Card.

OTHERS

- Generators: Generators with AMF panel shall be provided with 100 % power backup for common area and apartments.
- CCTV Surveillance in common areas including compound wall, lobby & passages.
- 24 Hours Security. Security Cabin painted with Textured Paint.
- Automatic Gate
- Advanced Fire Fighting System on ground & basement.
- Car Parking: Stack-on Parking provided by the Developer - 2 Cars on ground level & 3 cars in basement (per unit).
- Main Lobby- Air-conditioned with seating, Well designed interiors with false ceiling and decorative lights.

Disclaimer: GREY STONE DEVELOPERS reserves the right to change / alter / delete the brands specified above, subject to its availability to an equivalent and competitive product.



Google Co-ordinates
22°19'41.1"N 73°07'04.7"E



ADDRESSES SPEAK LOUDER THAN WORDS

Spenser X Gold is destined to be rare and coveted address. Located in the bustling neighbourhood of Sevasi, your home will enjoy everything from an elite status to a privileged lifestyle, vibrant contemporary conveniences to rare natural beauty, ready accessibility to soothing serenity.

Let the address speak for you!



SCAN QR
For Location

Disclaimer: • The information contained in this brochure is subject to change as may be approved by the competent authorities and cannot form part of any form or contract. • All plans are subject to any amendments approved by the competent authorities. • This brochure shall not be treated as a legal document; it is only for the purpose of information. • The areas are indicative only. The measurements indicated in the plan may vary at the time of construction. • All landscaping is conceptual and shall be as per architect's design. Illustrations in this brochure are artist impressions and serve only to give an approximate idea of the project. While every reasonable care has been taken in providing this information, the developers cannot be held responsible for any inaccuracy. • The developers reserve all the rights to make any changes as may be necessitated from time to time in the layout, building plan and specifications, such changes would be binding to all members.

Developer:



Site: Spenser-X Gold, Ankhodia Khanpur Road,
Off. Gotri-Sevasi Main Road, Vadodara.

Ph.: +91 98240 09166 (Chetan Baghel)
Email: spenserxgold@gmail.com

Architect: Ruchir Sheth



Structural Consultant: Aashutosh Desai

