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01



Site : RS no 633/paiki 1, besides gowardhan nathji haveli, near sangath bungalows, shruti ashram mandir road, Vadodara.

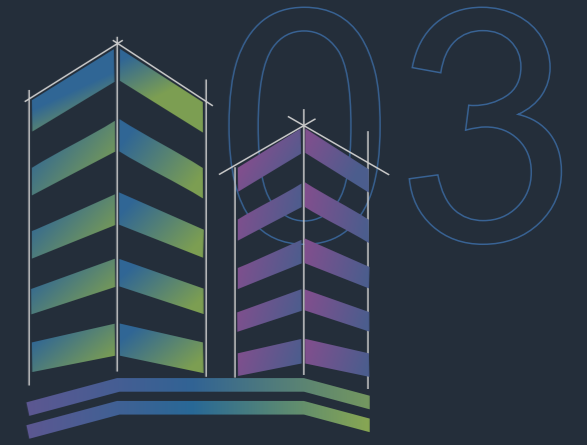
Developers:
LABH INFRA

Structural engineer:
Zarna Associates

Architect: Design Studio
Ruchir Sheth

Ph: +91 9978040713
Email - labhinfra01@gmail.com

3BHK LIFE STYLE APARTMENTS



TWIN PEAKS
3BHK LIFE STYLE APARTMENTS

FOR PEOPLE

with Proficiency and persuasive Nature

TWIN PEAK Life style Apartments adds up to the clarity of confidence, Providing a majestic Lifestyle. An Integrated approach that celebrates life with compassion and care. This develops competencies and focus a positive Environment that allows Families to flourish.



04

Life Style is The Way In Which A Person Lives.

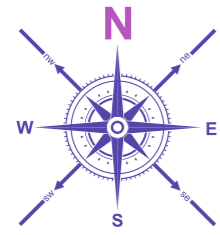
"The Benefits Of A Healthy Lifestyle"

to be recognized for that and have the ability to express that individuality. We believe that is the key to success and the basis of Lifestyle.

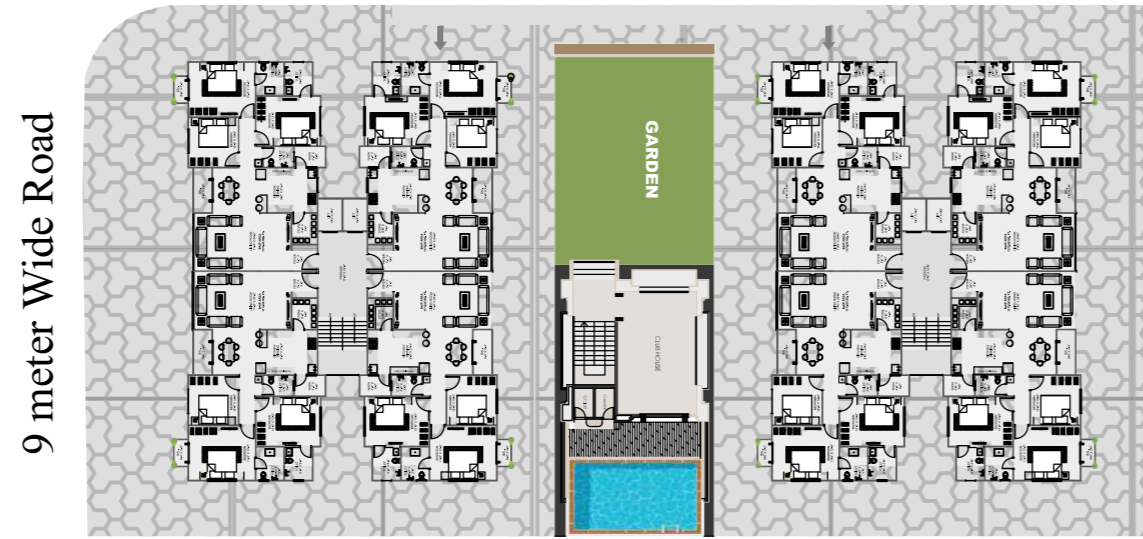
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TYPICAL FLOOR PLAN (1st to 7th Floor)



18 meter Wide Road

UNIT PLAN





PREMIUM LEISURE AMENITIES



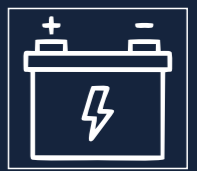
Swimming pool with self Filtration System.



Clubhouse with Garden



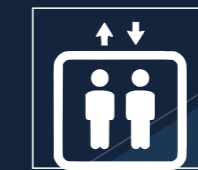
Rainwater Harvesting percolating well.



Power backup DG for Lift & Common Lighting



Underground & Overhead water tank with sensors



Good quality lifts for each tower



Ample car & 2 Wheeler Parking for all residents

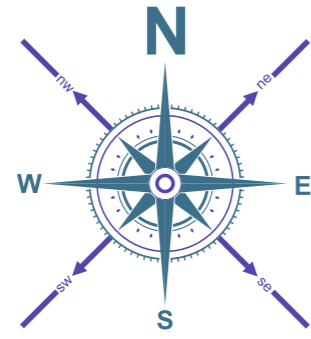


Internal R.C.C / Paver Block





10

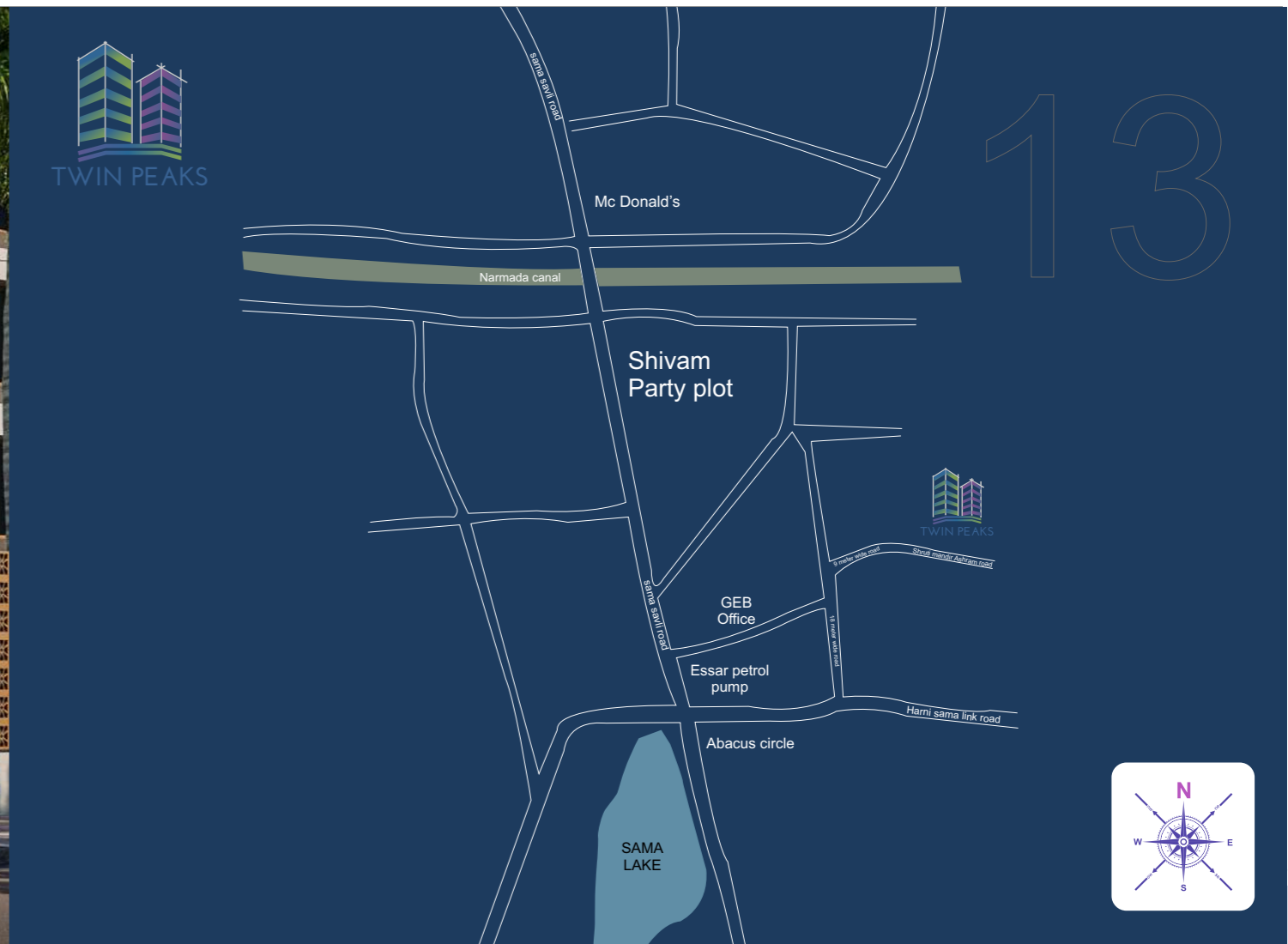


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PROJECT NAME

PROJECT NAME



SPECIFICATIONS

STRUCTURE

Earthquake resistant RCC framed structure work as per structural engineer design

WALL FINISH

- (a) Internal walls with smooth plaster & putty primer finish.
- (b) Double coat plaster on external walls along with weather proof exterior paint as per architect's approval elevation.

Flooring

Premium quality verified tiles flooring.

ELECTRIFICATION

Single phase, concealed copper / aluminium wiring MCB / GLCB & branded modular switches with adequate electric points.

PLUMBING

Systematic wall concealed cpvc / upvc plumbing consultant's design

BATHROOM

Ceramics tiles up to lintel level & premium quality CP fittings & sanitary.

WINDOWS

Powder Coated / Anodized aluminium sections with tinted glass & a mosquito net done in stone frame.

DOORS

- (a) Decorative main door with wooden frame
- (b) Internal flush doors in stone frame

KITCHEN

Granite tiles up to lintel level & premium Quality CP fittings & Sanitary

AIR - CONDITIONING

AC copper piping & wiring including drains in all bedrooms & living room

RERA NO.

PAYMENT TERMS: Booking - 10% | After Agreement of Sale - 20% | Ground Floor Slab - 10% | First Floor Slab - 5% | Second Floor Slab - 5% | Third Floor Slab - 5% | Fourth Floor Slab - 5% | Fifth Floor Slab - 5% | Sixth Floor Slab - 5% | Seventh Floor Slab - 5% | Plaster - 10% | Finishing - 10% | Before Possession - 5%

NOTES: (1) Possession will be given after one month of settlements of all accounts. (2) Extra work will be executed after receipt of full advance payment. (3) document charges, stamp duty, GST, common maintenance charge, development charge will be extra. (4) Any new central or stamp government taxes. If applicable shall have to be borne by the client. (5) Continuous default payment leads to cancellation. (6) Administrative expense of ₹20,000/- & the amount of extra work (if any) will be deducted from refund amount. (7) Refund in case of cancellation will be made within 30 days from the date of booking of new client only. (8) Developers shall have the right to change of rise the scheme or any details herein and any change of revision will be binding to all. (9) Any plans, specifications or information in the brochure cannot form part of an offer, contract or agreement.