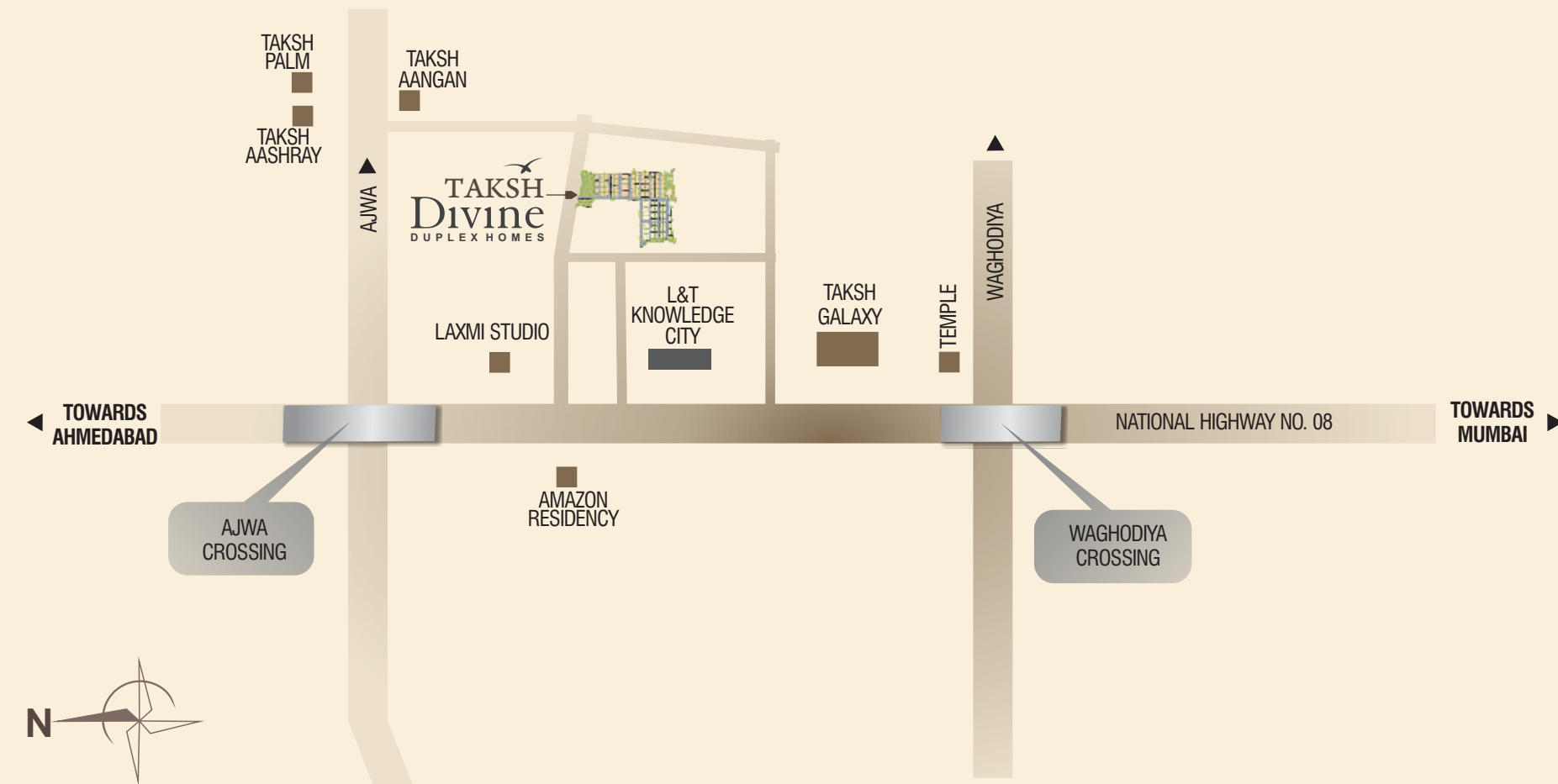


## KEY PLAN



Developers: **Divine Realty**  
 Ph.: **+91 97229 06577**  
 Email: **divine@takshinfra.com**  
**www.takshinfra.com**

**Site:** Taksh Divine,  
 Besides Nijanand Ashram,  
 Adjoining L&T Knowledge City,  
 N.H.8, Vadodara.

**Architect:**  
 Design Studio, Ruchir Sheth

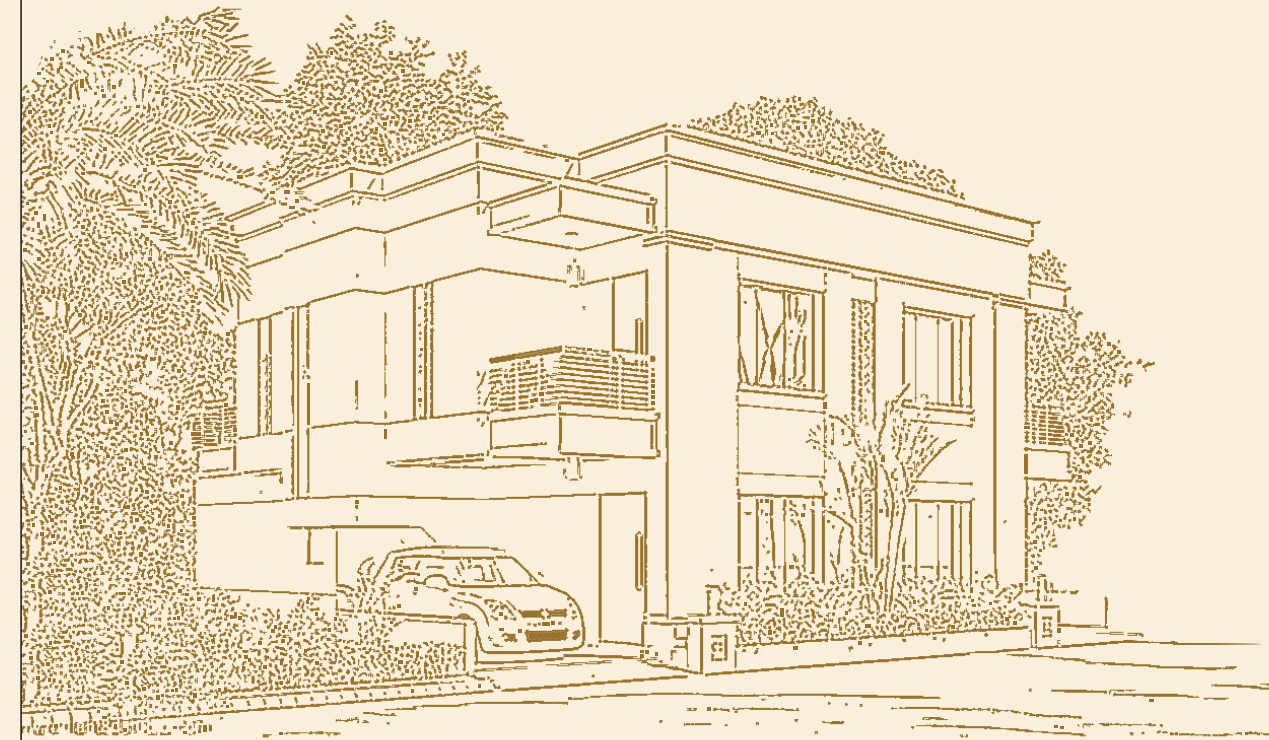
**Structural Consultant:**  
 Associate Engineers

### Payment Schedule:

Token Amount	₹ 1 Lacs
Booking Amount within 20 days after booking date	25%
At Plinth Level	20%
At Ground Floor Slab Level	15%
At First Floor Slab Level	15%
At Plaster Level	20%
At Final Finishing Level	05%

**Please Note** • Actual possession of the Unit shall be handed over to the Member within 30 days of the settling of all the accounts and dues. Sale Deed, Documentation Charges, Stamp Duty Charges, Common Maintenance Charges, Service Tax Charges etc. will be Extra be borne by the Buyers as per Govt. Law. • Payment Schedule must be followed strictly; any delay in payment shall incur Interest penalty at the rate of 15% P.A. on outstanding amount. Continuous default in payment shall lead to total cancellation of the Unit. • Total Amount of the Extra Work must be deposited in full in advance then only work shall be executed. • Sale Deed (Dastavej) to be done after settlement of all accounts. • Maintenance Deposit per unit must be deposited before possession of the unit • In case of cancellation of any Unit, an amount of Rs. 50,000/- + Amount of Extra Work, (if any) will be deducted towards Administrative Charges from the Refund Amount. • The Refund shall be paid only after the New Booking of the booked Unit. • Actual Dimensions may vary as per the site conditions • Developers/Architect reserves the right to change/alter/raise scheme related measurement, design, drawings and price per unit etc and shall be binding to the Buyers unconditionally. • Water & drainage to be provided by VUDA. • If the Unit holder requires early possession, then they have to arrange for the utilities on their own. • Buyer's are not allowed to do any external change in elevation of the Bungalow. • This brochure is not a legal document, this is only for presentation of the project.

design: stroke&arrow@98240 92010



**TAKSH**  
**Divine**  
 DUPLEX HOMES





Presenting **Taksh Divine**, Duplex Homes that truly enrich the quality of life. The 3 BHK Duplex Bungalows are ideal for those seeking a change in their lifestyle.

Close to L&T Knowledge City, on the fast developing NH 8, it is the perfect destination to invest or move over in your dream home. It is ideally located in a green & silent neighborhood, yet is at an easy distance from most urban utilities. Residing at Taksh Divine would truly be a refreshing change, once you shift over to this serene neighbourhood.

Living at Taksh Divine would translate into leading a great-balanced life. A perfect dwelling for all who long for the true comforts of 'home', in a space of their 'own' and in a 'budget' that is truly irresistible!



  
**TAKSH**  
**Divine**  
DUPLX HOMES







## Value Added Amenities

- Decorative Street Light
- RCC Internal Roads with both side pavers
- Underground electric cabling
- Water Supply
- RO System for each Bungalow
- Compound wall & Gate for each Bungalow
- 24 hours security
- Termite Treatment
- Water Proofing treatment for all units
- Name & Number Plates on each unit, to maintain uniformity

## Leisure Amenities

- Clubhouse with
- Multipurpose Hall
- Gymnasium
- Indoor Games
- Landscaped Garden with Jogging Track
- Children's play area
- Party Lawn with Stage for Functions



## Specifications

**Structure:**  
All RCC & Brick masonry as per structural engineer's design.

**Finishing:**  
Internal smooth plaster with Wall Putty & External double coat plaster with weather-resistant paint.

**Kitchen:**  
Granite platform with SS Sink & premium branded wall tiles upto lintel level.

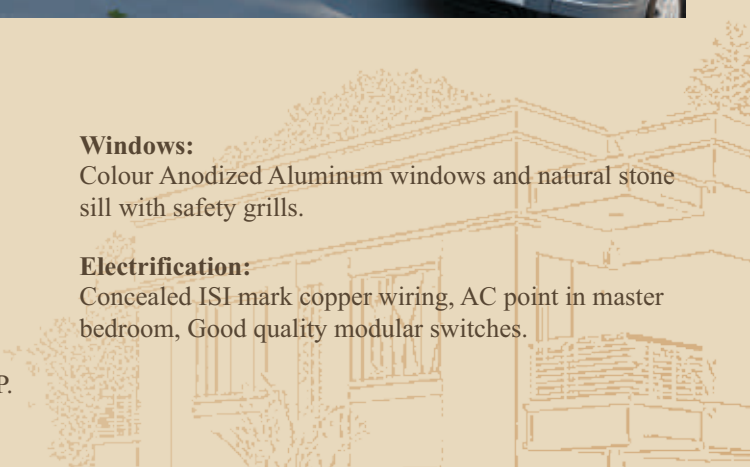
**Flooring:**  
Vitrified tiles flooring in all rooms.

**Doors:**  
Elegant entrance door & Internal Flush doors with laminate.

**Bath:**  
Designer tiles upto lintel level with standard quality C.P. Fittings.

**Windows:**  
Colour Anodized Aluminum windows and natural stone sill with safety grills.

**Electrification:**  
Concealed ISI mark copper wiring, AC point in master bedroom, Good quality modular switches.







# LAYOUT PLAN



24.00 M. WIDE ROAD

9.00 MT. WIDE ROAD

9.00 MT. WIDE ROAD

9.00 MT. WIDE ROAD

9.00 MT. WIDE ROAD

9.00 MT. WIDE ROAD

Plot No.	Type	Plot Area	Plot No.	Type	Plot Area	Plot No.	Type	Plot Area
1	B	1008.00	106	B	856.00	180 to 188	A	1033.00
2 to 33	B	780.00	107	B	835.00	189	A	1906.00
34	B	1219.00	108	B	809.00	190	A	1543.00
35	B	1531.00	109	B	1021.00	191 to 199	A	1012.00
36 to 49	B	780.00	110	B	999.00	200 to 208	A	1019.00
50 to 51	B	1024.00	111	B	978.00	209	A	1497.00
52 to 65	B	780.00	112	B	952.00	210	A	1547.00
66	B	1386.00	113	B	909.00	211 to 219	A	1012.00
67	B	1229.00	114	A	1113.00	220 to 228	A	1026.00
68 to 81	B	780.00	115 to 123	A	1073.00	229	A	1514.00
82	B	843.00	124	A	1608.00	230	A	1535.00
83	B	798.00	125	A	1560.00	231 to 239	A	1015.00
84 to 97	B	780.00	126 to 135	A	998.00	240 to 248	A	1026.00
98	B	1050.00	136 to 145	A	1005.00	249	A	1512.00
99	B	1877.00	146	A	1514.00	250	A	1632.00
100	B	1244.00	147	A	1566.00	251 to 259	A	991.00
101	B	1174.00	148 to 157	A	988.00			
102	B	1101.00	158 to 167	A	998.00			
103	B	1026.00	168	A	1534.00			
104	B	950.00	169	A	1546.00			
105	B	883.00	170 to 179	A	1019.00			

## AREA TABLE

- TYPE - A
- TYPE - B



COMMON PLOT

COMMON PLOT

23' - 7" WIDE APPROACH



# Type A

**BASIC PLOT AREA**  
988 Sq. Ft.  
**BUILT-UP AREA**  
1321 Sq. Ft.



GROUND FLOOR PLAN



FIRST FLOOR PLAN





# Type B

**BASIC PLOT AREA**  
780 Sq. Ft.  
**BUILT-UP AREA**  
1061 Sq. Ft.



GROUND FLOOR PLAN

FIRST FLOOR PLAN

