

Developer:

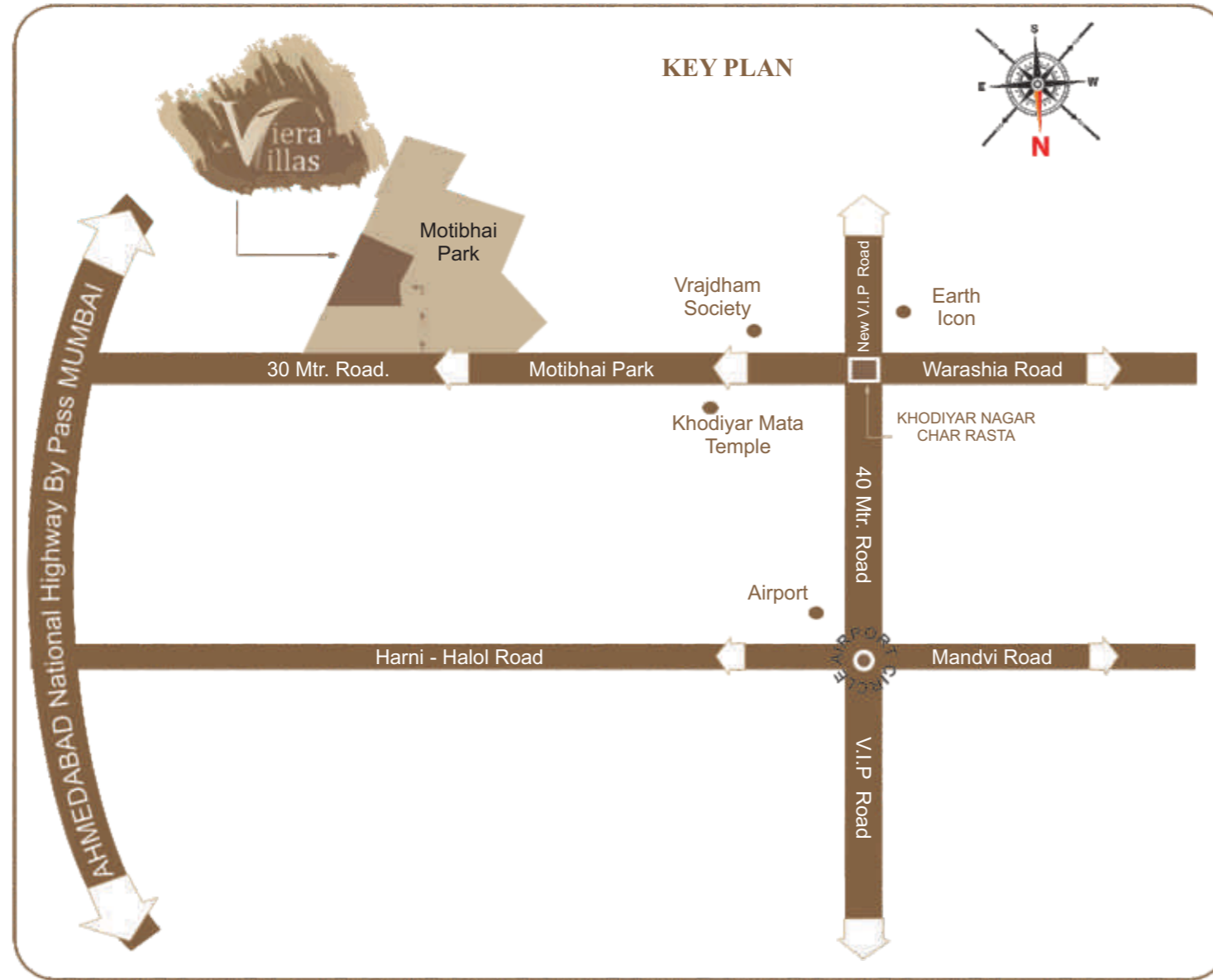


Viera Villas
Inside Motibhai Park,
Khodiyar Nagar 30 Mtr. Road,
Nr. Mukhi Nagar, New VIP Road,
Vadodara - 390 022

Contact :
+ 91 - 81411 24336, 81402 03377

Architect:
Hitesh Engineers

Structure:
Zarna Associates



Payment Terms:

• 30% At the time Of Booking • 15% Plinth Level • 20% G.F. Slab Level • 15% F.F. Slab Level • 10% Plaster Level • 05% Flooring • 05% Finishing

Notes: Possession will be given after one month of settlement of all accounts. Extra work will be executed after receipt of full payment in advance as per developers estimate. Documentation charges such as stamp duty, registration, legal typing and related expenditures, G.S.T and common maintenance charges will be extra, and borne by the client any new central or state Government taxes, if applicable, shall have to be borne by the clients. Elevation alteration will not be allowed in any circumstances. In case of delay in payment, 24% interest will be charged and continues delay in payments will lead to cancellation. Architect/Developer shall have the right to change or raise the scheme or any details herein and any changes or revision of specification, planning and elevation will be binding to all. Any delay of corporation activity shall be unitedly faced. Refund in case of cancellation will be made within 30 days from the date of booking only after deduction of Rs.20000/- towards administrative expenses and the amount of extra work (if any) will be deducted from refund amount. The delivery schedule will be maintained only if the unit is as per the sample shown. Any extra work requested by client might cause delay in delivery schedule. Any plans, Specifications or information displayed in this brochure cannot form part of an offer contract or agreement.

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4 & 5 BHK *Limited* Villas



Viera Villas With New Age Architecture

“We believe there is more to architecture than buildings. It is thoughtful design of spaces.

Everywhere around us, we see structures embodying thought. Some thoughts stand tall and take our breath away, some cradle us in a familiar air of comfort, while others simply make life more convenient.

At **Viera Villas**, thought is the soul of design, ushering you into a new realm of architecture.

Or as we call it, “New Age Architecture”.



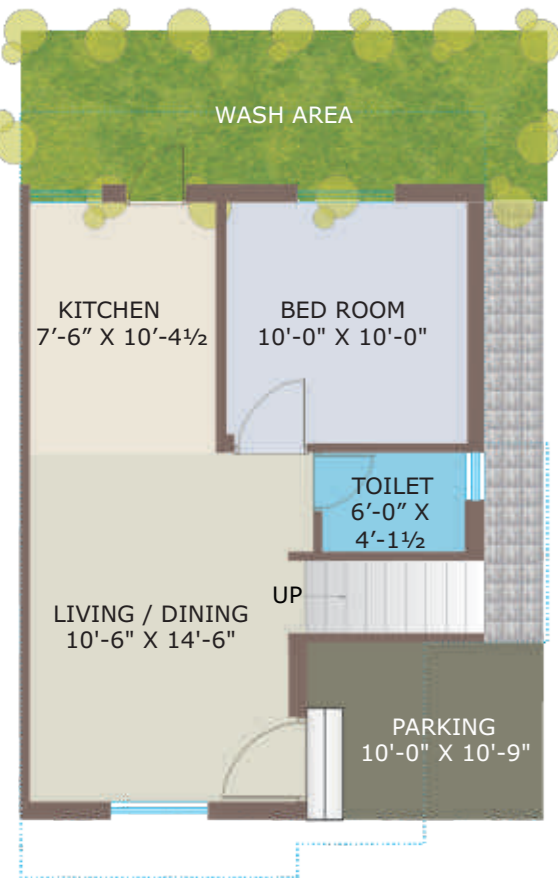


Unit No.	Plot Area
V/A - 1	854
V/A - 2	708
V/A - 3	708
V/A - 4	708
V/A - 5	708
V/A - 6	708
V/A - 7	708
V/A - 8	1,321
V/B - 1	682
V/B - 2	692
V/B - 3	692
V/B - 4	692
V/B - 5	692
V/B - 6	692
V/B - 7	1,245
V/C - 1	682
V/C - 2	692
V/C - 3	692
V/C - 4	692
V/C - 5	692
V/C - 6	692
V/C - 7	1,355
V/D - 1	614
V/D - 2	519
V/D - 3	675
V/D - 4	1,382

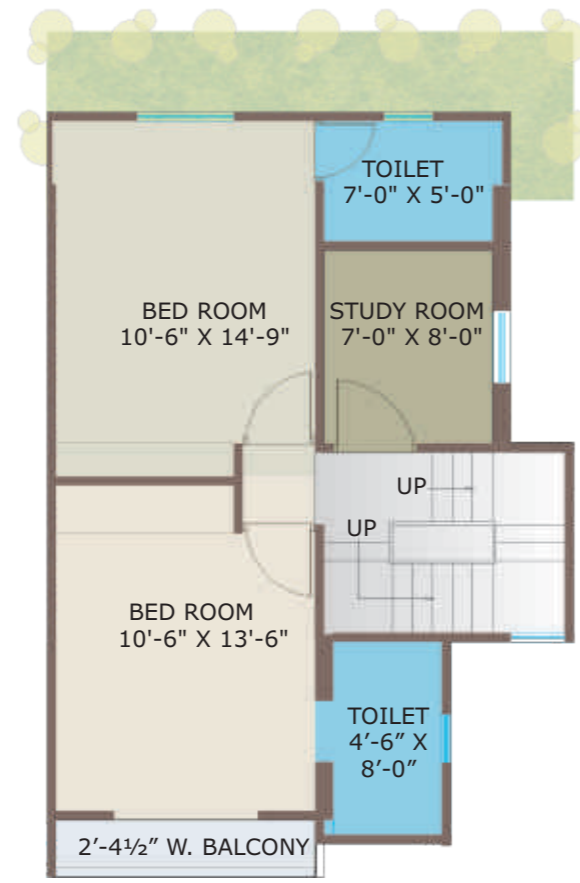


TYPE : - V/A-1 TO V/A-7

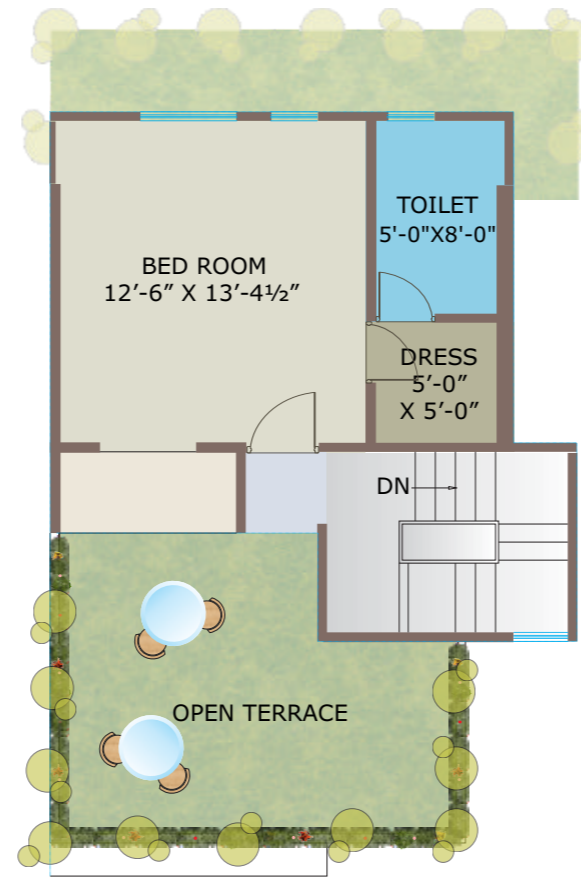
GROUND FLOOR PLAN



FIRST FLOOR PLAN



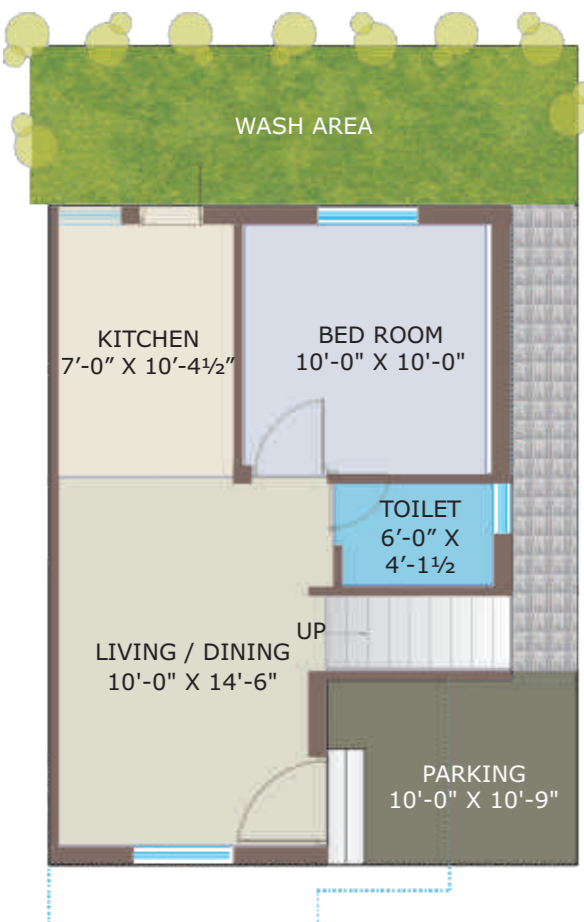
SECOND FLOOR PLAN (OPTIONAL)



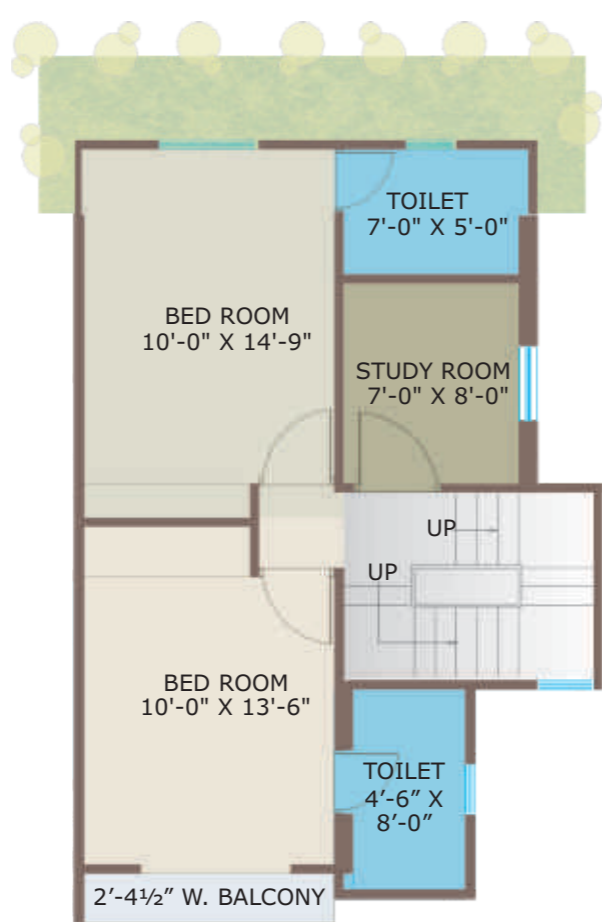
GROUND FLOOR PLAN

TYPE: - V/B-1 TO V/B-7 & V/C-1 TO V/C-7

GROUND FLOOR PLAN

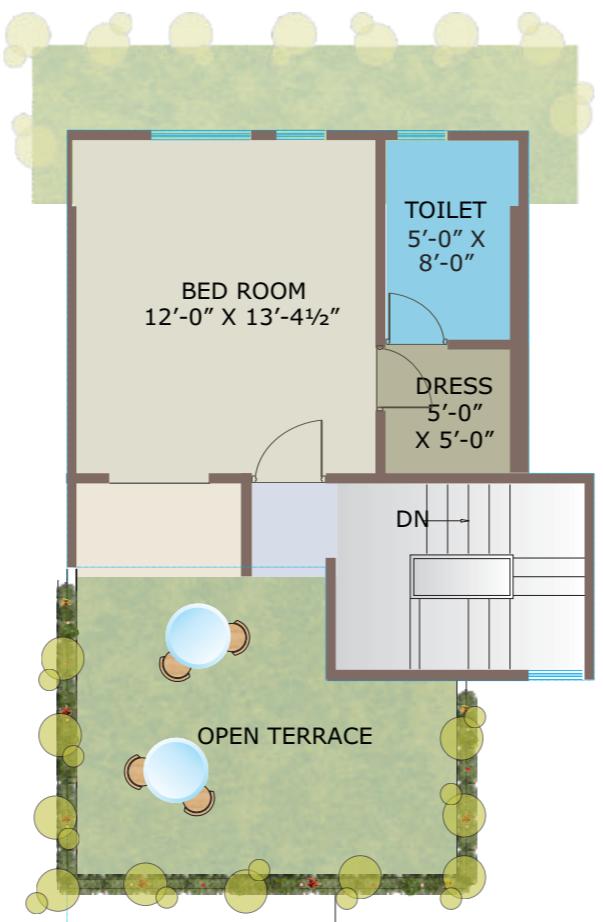


FIRST FLOOR PLAN



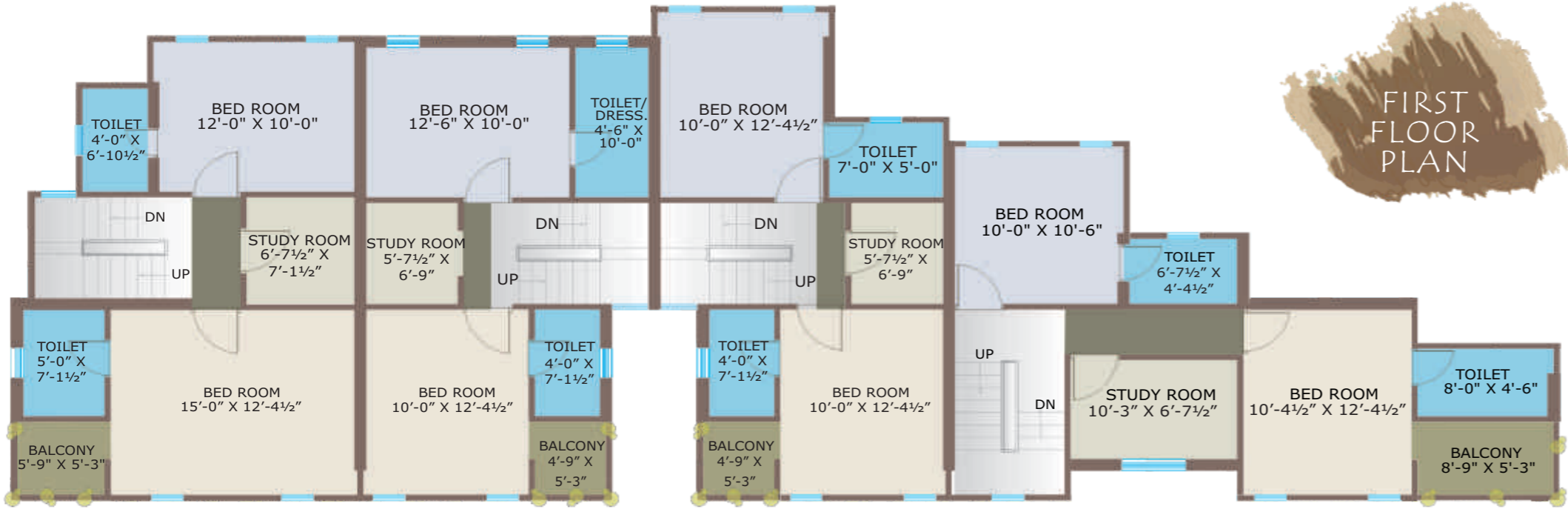
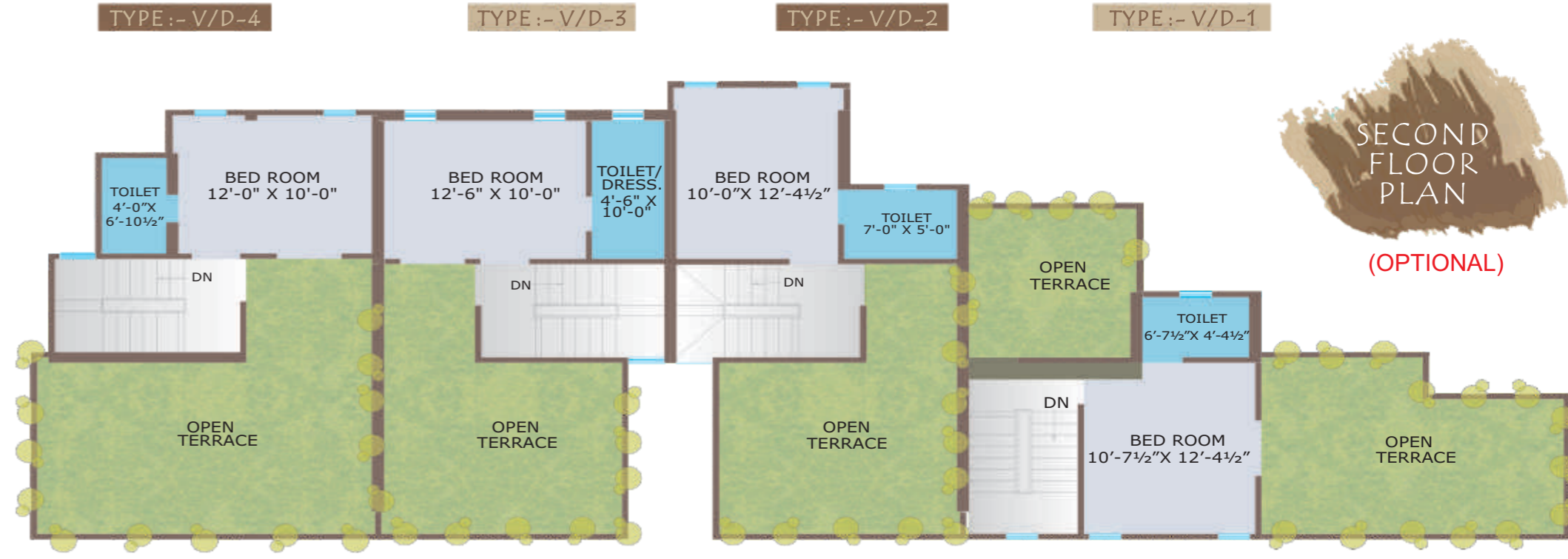
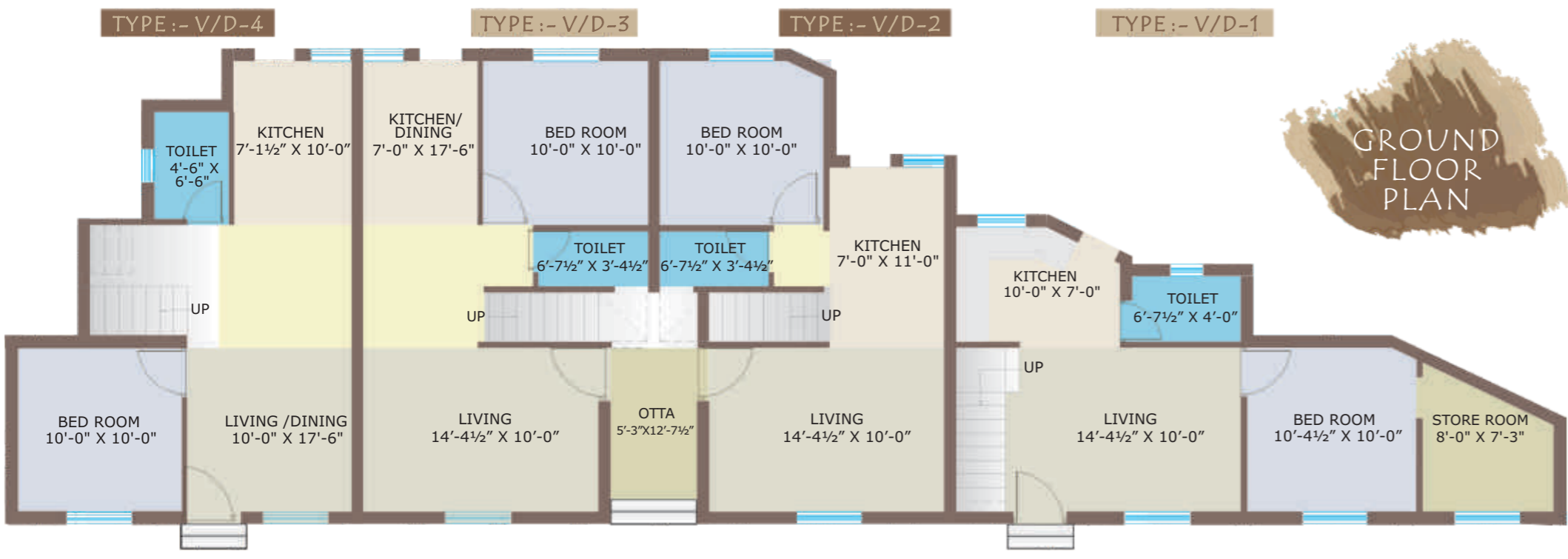
SECOND FLOOR PLAN

(OPTIONAL)



FIRST FLOOR PLAN

Vieravillas



Specifications

- Structure:**
All R.c.c. & Brick Masonry As Per Structural Engineer's Design.
- Wall Finish:**
Inside Smooth Plaster With Birla Putty Finish & Exterior Surface With Plaster & Weather Shield Acrylic Paint.
- Flooring:**
2' X 2' Vitrified Tiles Flooring In All Rooms.
- Windows:**
Aluminum Section Windows With Glass & Safety Grills.
- Doors:**
Decorative Main Door With Standard Fittings, All Internal Doors Good Quality Flush Doors With Laminate.
- Kitchen:**
Granite Kitchen Platform With Ss Sink & Glazed Tiles Dedo Up To Lintel Level.
- Plumbing:**
Internal Concealed Plumbing With A Good Quality C.p. Fittings.
- Electrification:**
Concealed Copper Wiring Of Approved Quality With Good Quality Switches.
- Bath:**
Ceramic Tiles Flooring & Decorative Glazed Tiles Dedo Up To Lintel Level.
- Internal Roads:**
R.c.c. Internal Roads With Paved Sides
- Society Security:**
Impressive Compound Gate With Compound Wall
- House Identification:**
Uniform Number Plates
- Water Facility:**
Separate Underground & Overhead Tank For Each Unit
Common Large Underground Tank For Society For Uninterrupted Water Supply
- Anti Termite Treatment:**
Anti Termite Treatment At Construction Level (Future Maintenance Will Be In Customer's Scope)

