

सिफल्या
Bliss

3 BHK LUXURIOUS FLATS



Developers:
Safalya Buildcon

Call: 90814 44881, 90814 44882
Email: safalyabuildcon@gmail.com

Architect:  **Rishi**
Architect & Interior Designer

Structure:
A.A. Desai

design: stroke&arrow@98240 92010

- prime residential location
- premium quality construction
- plush amenities
- priced affordable



Safalya Bliss brings an elegant lifestyle well within reach of citizens of Vadodara. Planned in the most sought after residential location of Kalali, it offers an ideal living space to its residents with multiple options of spacious 3 BHK planning.

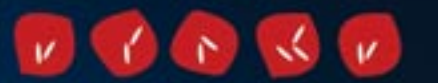
Be assured of a home with a quality finish, branded fittings and fixtures, premium value additions & leisure amenities...and much more at a very affordable price.

Safalya Bliss is an offering from a well experienced and committed team of real estate developers. Timely completion of the project and providing you best value for your investment will always be our endeavor.





Bliss



Clean straight lines,
uncluttered elevation...
for an ageless elegance!

— Value Added Amenities

- Standard quality elevators with power back-up
- Anti-termite treatment to the building
- Heat and water proofing treatment to the terrace
- Ample car parking
- Paved compound with decorative lighting
- 24 hours water supply with underground and overhead water tank with sensor
- 24 Hours Security
- Individual name plates & letterbox

— Leisure Amenities

- Air-conditioned Clubhouse with:
 - Banquet Hall / Multi-purpose Hall
 - Gym / Health Club
 - Indoor Games Room
- Swimming Pool with Deck
- Landscaped Garden with seating
- Senior Citizen's Park
- Children's Play Area
- Jogging Track

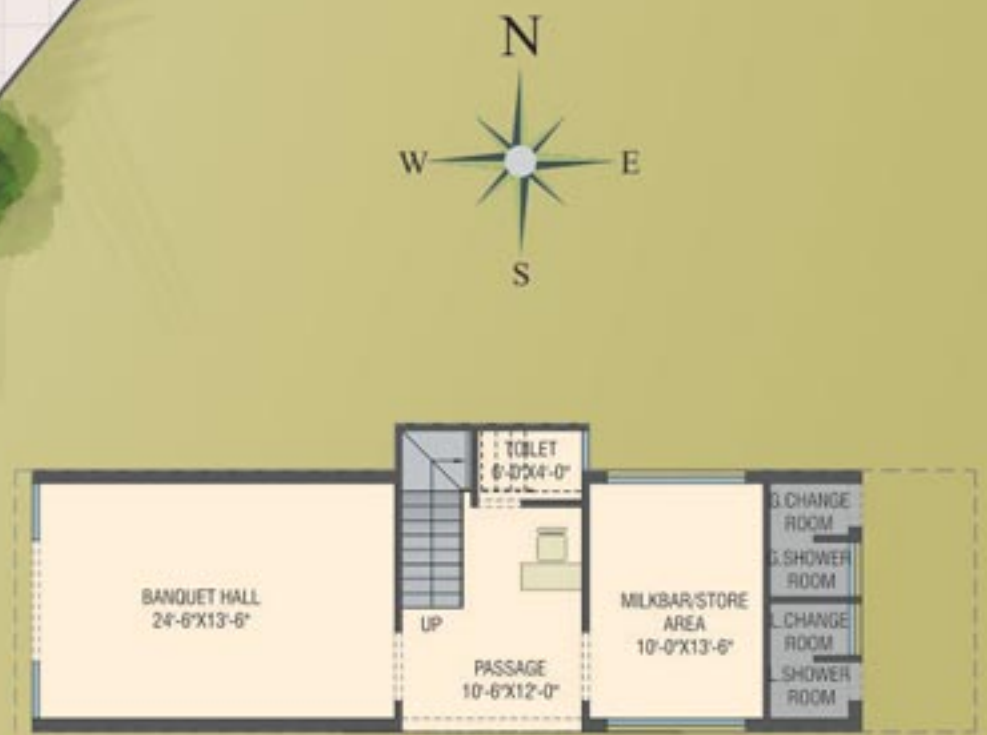
Every aspect of planning & development at Safalya Bliss reflects our quest to create a perfect home for our valued customers. This sensitivity has reflected in the thoughtful planning of all the apartment options, a whole host of value additions, a picture-perfect landscaped campus, club-class recreational facilities & much more.



Gift you and your family a lifetime of convenience, opulence and comfort. In a vibrant community of like-minded neighbours, close to all conveniences and in a secure campus. Get ready to live a blissful life!

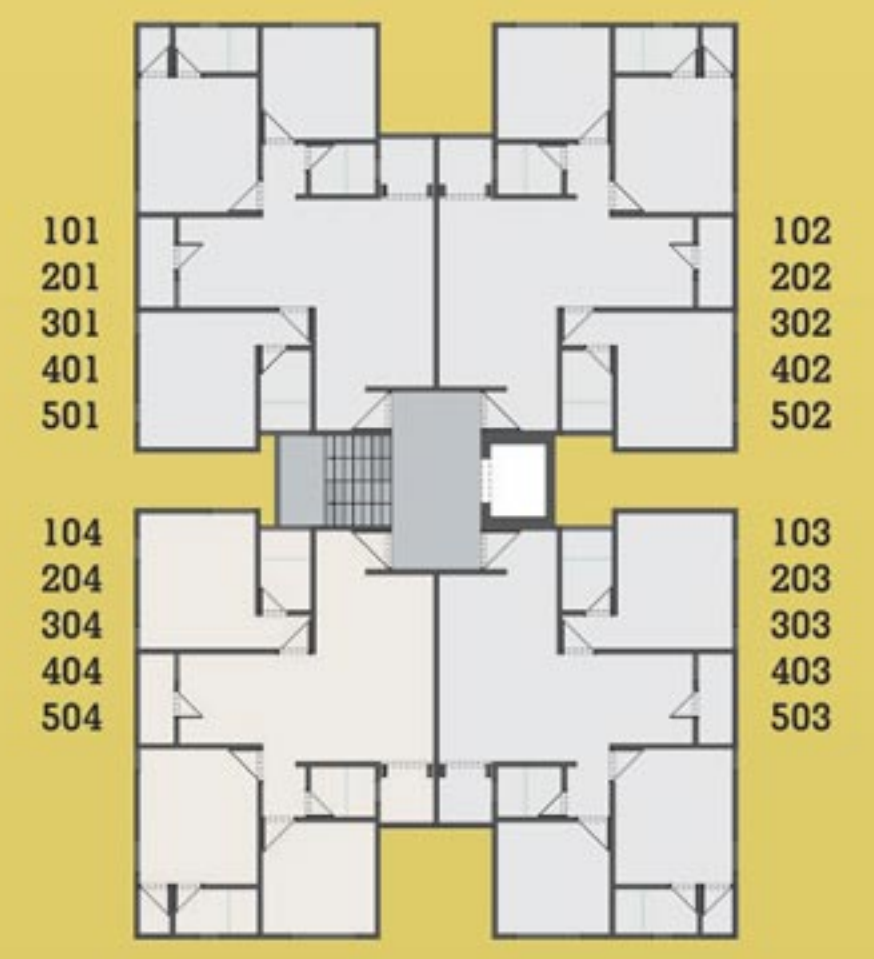


Layout Plan



CLUBHOUSE GROUND FLOOR

CLUBHOUSE FIRST FLOOR



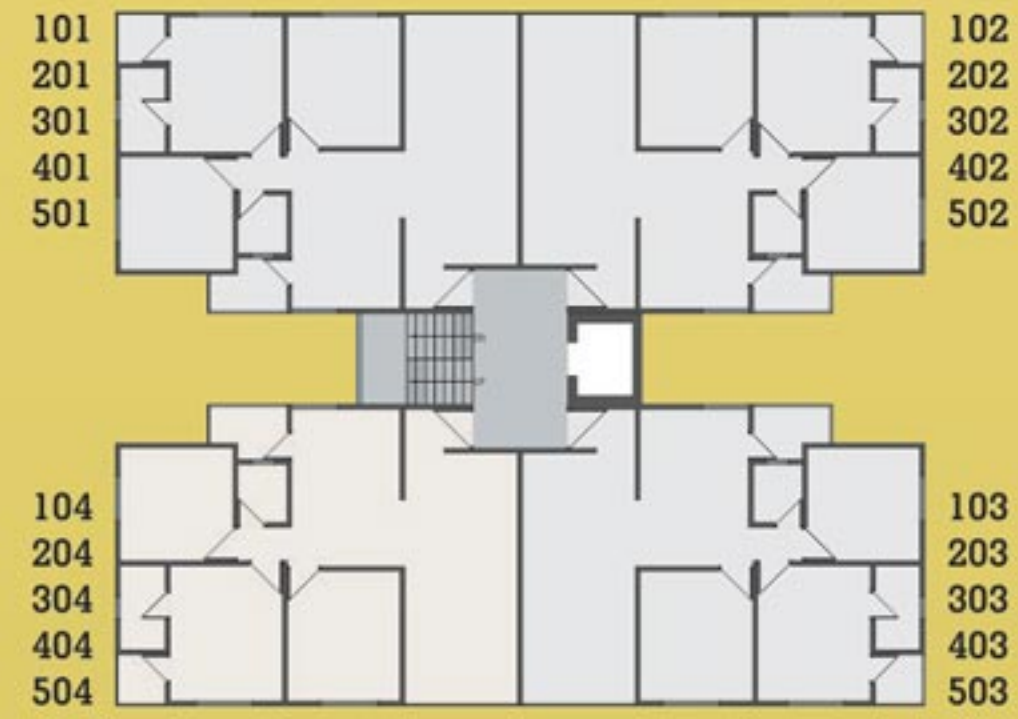
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**TOWER
 A,B,C & D**
 TYPICAL FLOOR PLAN

BA: 940 sq.ft.
 SBA: 1450 sq.ft.



.....
TOWER E
 TYPICAL FLOOR PLAN

BA: 945 sq.ft.
 SBA: 1460 sq.ft.



Specifications

Structure:
Well designed RCC frame structure as per structural engineer's design.

Flooring:
2' x 2' Vitrified flooring in living, dining, kitchen, balcony, and all bedrooms, and anti-skid ceramic tiles in bathrooms.

Kitchen:
Granite platform with SS kitchen sink and designer tiles up to lintel level over the platform.

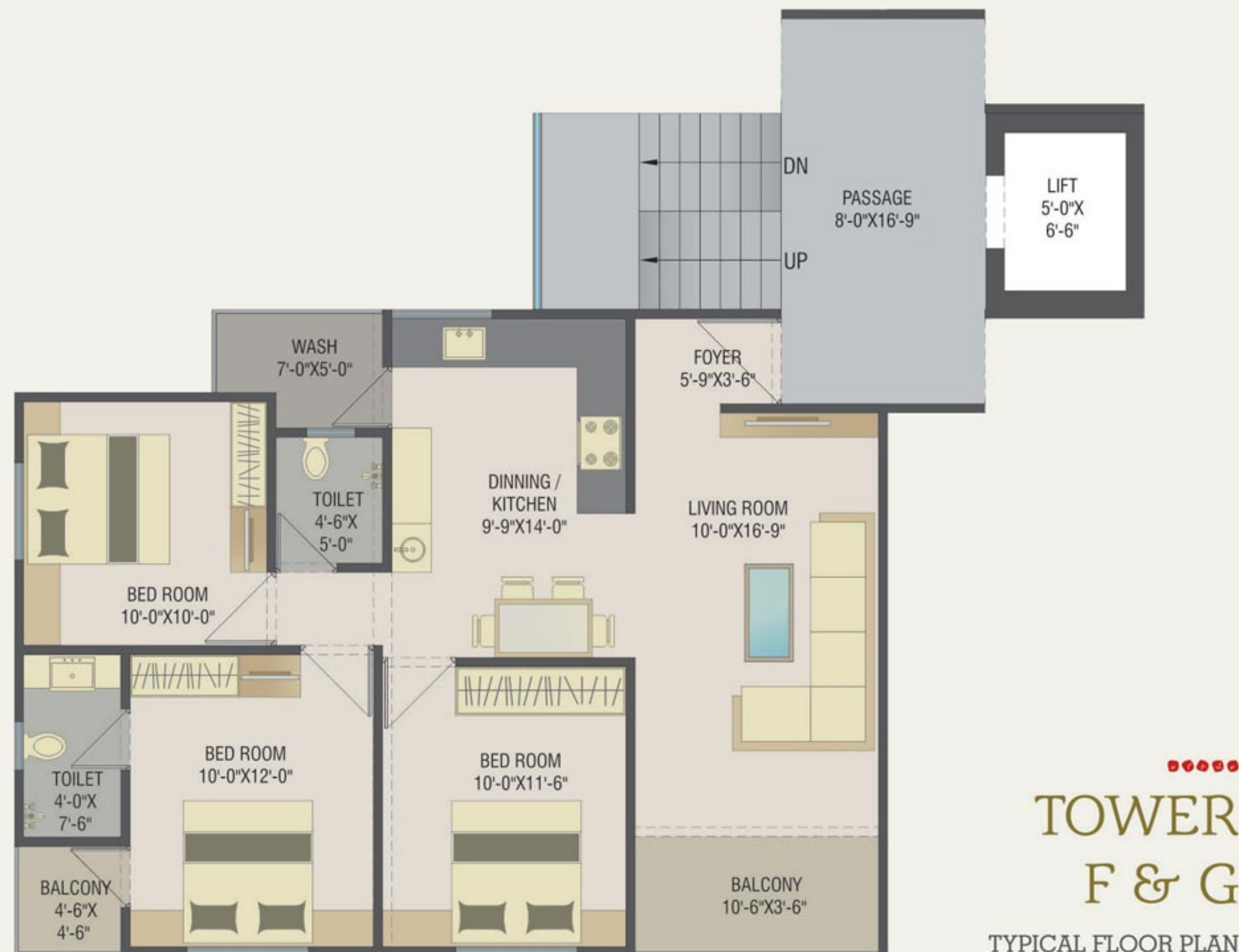
Bathrooms:
Designer tiles up to lintel level with quality bath fittings, sanitary ware and glazed tiles. Geyser point in Bathrooms.

Plumbing:
Systematic wall concealed CPVC / UPVC branded plumbing fitting

Doors & Windows:
Decorative main door with standard safety lock and fittings. All other internal doors are flush doors with laminates. Aluminum section windows with reflective glass.

Electrification:
Concealed copper ISI wiring and good quality modular switches with sufficient points. Provision for Split AC in master bedroom. Geyser point in bathroom. MCB in main distribution board.

Finishing:
Internal smooth finish plaster and distemper paint on internal walls. External waterproof plaster with semi-acrylic exterior paint. Railing with enamel paint & exterior weather resistant paint.



TOWER F & G

TYPICAL FLOOR PLAN

BA: 920 sq.ft.
SBA: 1420 sq.ft.





Site: "Safalya Bliss", B/h Vicenza High Deck, Near Auro Villa, Kalali, Vadodara.

Terms: [1] Possession will be given after one month of settlement of accounts. [2] Extra work will be executed after receipt of full advance payment. [3] Stamp Duty, Registration Charge, Service Tax or any new Central Govt., State Govt., VUDA Taxes, if applicable shall have to be borne by the client. [4] Continuous Default payments leads to cancellation. [5] Architect / Developers shall have the rights to change or revise the scheme or any details herein and any change or revision will be binding to all. [6] In case of delay in Light connection by authority, developers will not be responsible. [7] All dimensions are indicative and actual dimensions in each room might vary [9] Refund (exclude tax) shall be given in case of cancellation of the booking within 30 days. The payment shall be refunded only after same premises is re-booked and payment for the same is received from the other customer. We shall deduct a minimum administrative charge of Rs. 25,000. [10] Any Plans, specifications or information in this brochure cannot form part of an offer, contract or agreement. [11] All members shall have to essentially be the part or the society formed by the association members and shall have to abide by the society bylaws. [12] After virtual completion of the work all the repair and the maintenance like drainage, watchman salary, electricity bill etc. shall be borne by society members. [13] Members of society are not allowed to change elevation in any circumstances. This brochure shall not be treated as a legal document, it is for the purpose of easy display of the Project.

Payment Schedule: 25% Booking | 10% Plinth Level | 10% First Floor Slab | 10% Second Floor Slab
10% Third Floor Slab | 10% Forth Floor Slab | 10% Fifth Floor Slab | 10% Finishing | 5% Before Possession