

TAKSH
GALAXY
ELITE BUNGALOWS

A Project By:



TAKSH INFRASTRUCTURE LLP

Site: **Taksh Galaxy**, Next to L&T Knowledge City,
NH 8, Besides Hanumanji Temple, Ajwa-Waghodia Road, Vadodara- 390 019.

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Architect: Paradigm Atelier | Structural Consultant: Zarna Associates

design: srooke&arrow@982402010



Widen Your Horizons...
get away from congested living

Imagine

A home where there is serene greenery all around

Your home amidst a secure campus, right on prime N.H.8

A home, where wide open, spacious spaces welcome you

Where you view happy smiles on the faces of family members

A perfect life within Taksh Galaxy...created specially for your joy



A new life awaits...

At **Taksh Galaxy**, you will experience a whole new lifestyle. A place where the best things in life meet.

Ample spaces to experience freedom, conveniently located adjoining to the L&T Knowledge City and bang on the fast developing N.H.8 and a stunning, contemporary architectural design that shall make living at Taksh Galaxy a true delight.

On offer are 4 BHK Elite Bungalows in Phase II, after the grand success of our on-going 3 BHK Duplex Bungalows in Phase I. The Phase II was specially designed considering the market feedback for a bigger, more spacious bungalow.

What remains common is a promise of a stellar lifestyle, with plush vistas for leisure, robust infra structural development, a flawless finish and an overall commitment to quality and creation of a great living space.





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*a spacious,
green campus,
with a serene
natural lake
and a host of
leisure amenities
awaits you!*

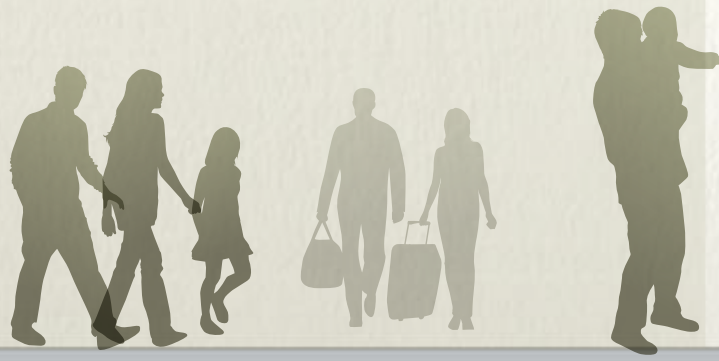
Layout Plan 



Area Table in Sq.ft.

A1-1	1564	A1-23	1255	A1-45	1255
A1-2	1358	A1-24	1255	A1-46	1255
A1-3	1355	A1-25	1255	A1-47	1683
A1-4	1352	A1-26	1255	B-48	1102
A1-5	1349	A1-27	2199	B-49	1816
A1-6	1346	A1-28	1683	A1-50	2110
A1-7	1343	A1-29	1255	A1-51	1260
A1-8	1340	A1-30	1255	A1-52	1671
A1-9	1337	A1-31	1255	A1-53	1826
A1-10	2357	A1-32	1255	A1-54	2173
A1-11	1435	A1-33	1255	A1-55	1216
A1-12	1255	A1-34	1255	A1-56	1216
A1-13	1255	A1-35	1255	A1-57	1545
A1-14	1255	A1-36	1255	A1-58	1216
A1-15	1255	A1-37	1699	A1-59	1967
A1-16	1255	A1-38	1699	A1-60	2014
A1-17	1255	A1-39	1255	A1-61	1216
A1-18	1908	A1-40	1255	A1-62	1571
A1-19	1908	A1-41	1255	A1-63	2248
A1-20	1255	A1-42	1255	A1-64	3621
A1-21	1255	A1-43	1255		
A1-22	1255	A1-44	1255		

- 1 Multi Court
- 2 Clubhouse
- 3 Yoga/ Meditation Area
- 4 Senior Citizen Setting Area
- 5 Lawn
- 6 Library
- 7 Gazebo
- 8 Jogging Track



Type AI

Basic Plot Area: 1255 sq. ft.
Saleable Area: 2850 sq. ft.



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

Specifications

Structure: Fully RCC frame structure, as per seismic requirements.

Flooring: High Grade Vitrified Tiles in all rooms. Paving Tiles in compound (Basic Area).

Kitchen: Exclusive Granite Platform with S.S Sink with designer tiles upto Door Height.

Toilet: Designer bathrooms with premium quality fittings & vessels. Glaze tile dedo upto Door Height.

Doors: Attractive Entrance Door with standard safety lock & other Decorative Fittings. Internal Flush Doors - Both Side Laminated with Wooden/ Granite Frame.

Windows: Anodized Aluminum Window with Safety Grill and Stone Sill (all around).

Electrification: Concealed copper ISI wiring and branded modular switches with sufficient points.

Paint & Finish: Internal smooth finish plaster with Birla Putty, Primer and External Double Coat Plaster with Texture Paint.

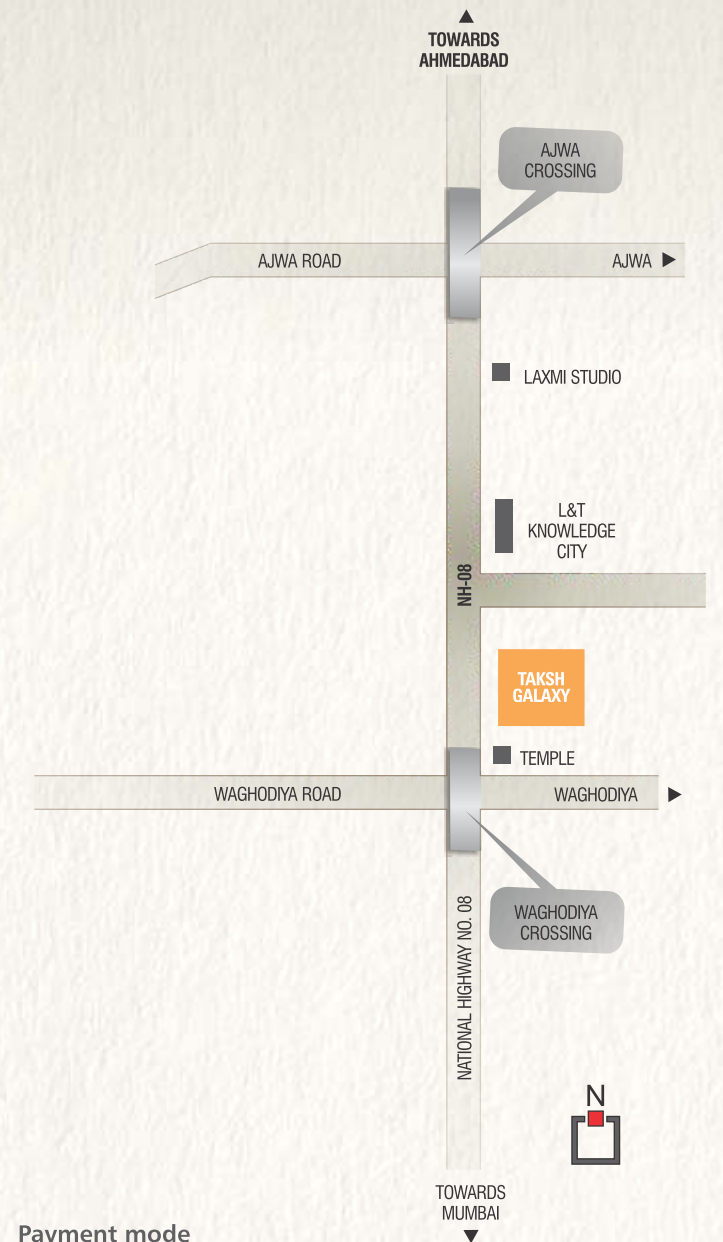
Terrace Finish: Elegant China Mosaic finish with Water Proofing Treatment.



Value Additions

- Exotic Entrance with 12 meters wide Approach Road
- An inviting Entrance Gate
- 24 x 7 Security with Security Cabin
- Compound Wall surrounding the community
- RCC Internal Roads with Street Lights and Decorative Paving
- Rain water Harvesting
- Termite Resistance Treatment
- Number Plates on each unit to maintain uniformity





Payment mode

₹11Lac	Token Amount
25%	Booking Amount within 20 days after booking date
15%	At Plinth Level
15%	At Ground Floor Slab Level
15%	At First Floor Slab Level
15%	At Plaster Level
10%	At Flooring Level
05%	1 month before taking Possession

Please Note • Actual possession of the Unit shall be handed over to the Member within 30 days of the settling of all the accounts and dues. Sale Deed, Documentation Charges, Stamp Duty Charges, Common Maintenance Charges, Service Tax Charges, Electric charges or deposit of GEB, Water and drainage Deposit or any charges lawed by VUDA or Corporation etc. will be Extra be borne by the Buyers •Payment Schedule must be followed strictly; any delay in payment shall incur Interest penalty at the rate of 15% P.A. on outstanding amount. Two Installment Continuous default in payment shall lead to total cancellation of the Unit. • Total Amount of the Extra Work must be deposited in full in advance then only work shall be executed. • Sale Deed (Dastavej) to be done after settlement of all accounts. •Maintenance Deposit per unit must be deposited before 1 month of possession of the unit • In case of cancellation of any Unit, an amount of Rs. 50,000/- + Amount of Extra Work, (if any) will be deducted towards Administrative Charges from the Refund Amount. •The Refund shall be paid only after the New Booking of the booked Unit. • Actual Dimensions may vary as per the site conditions • Developers/Architect reserves all the right to change/alter/raise scheme related measurement, design, Drawings and price per unit etc and shall be binding to the Buyers unconditionally. • Buyer's are not allowed to do any external change in elevation of the Bungalow. • Water & Drainage to be provided by VUDA • This brochure is not a legal document, this is only for presentation of the project.