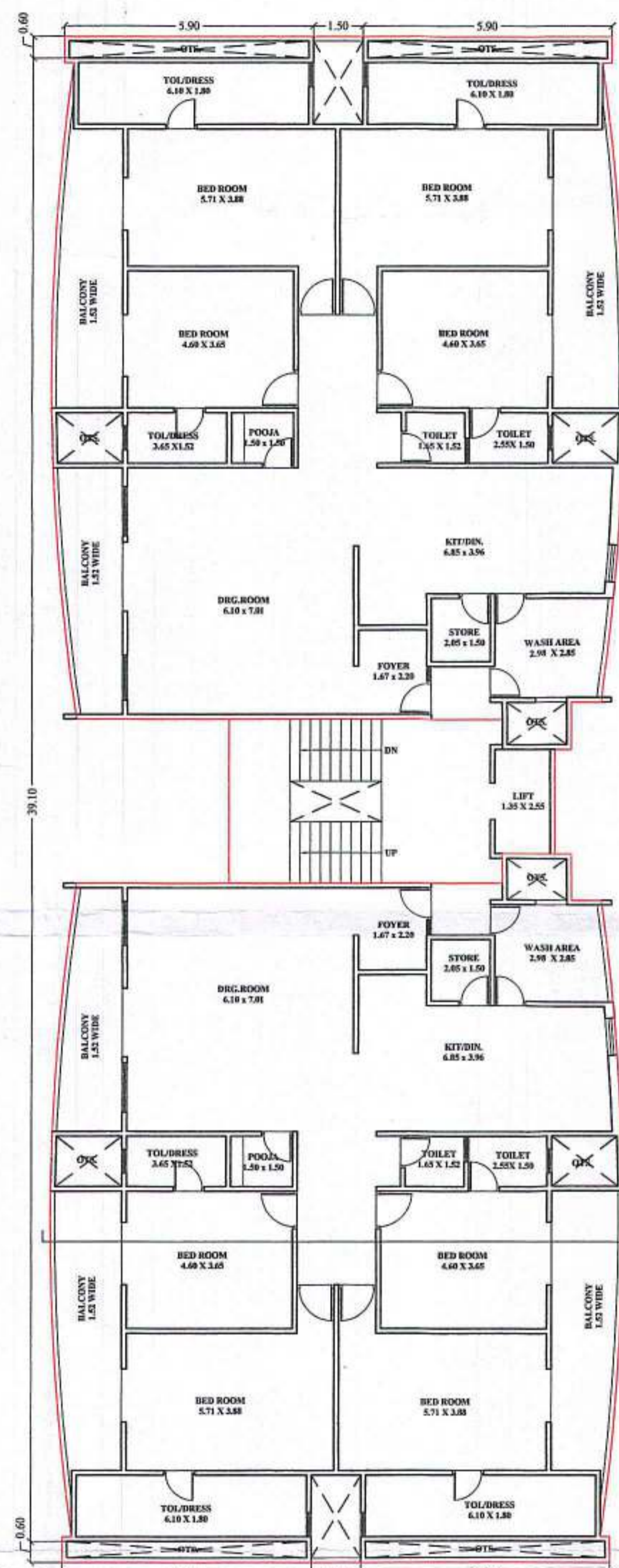
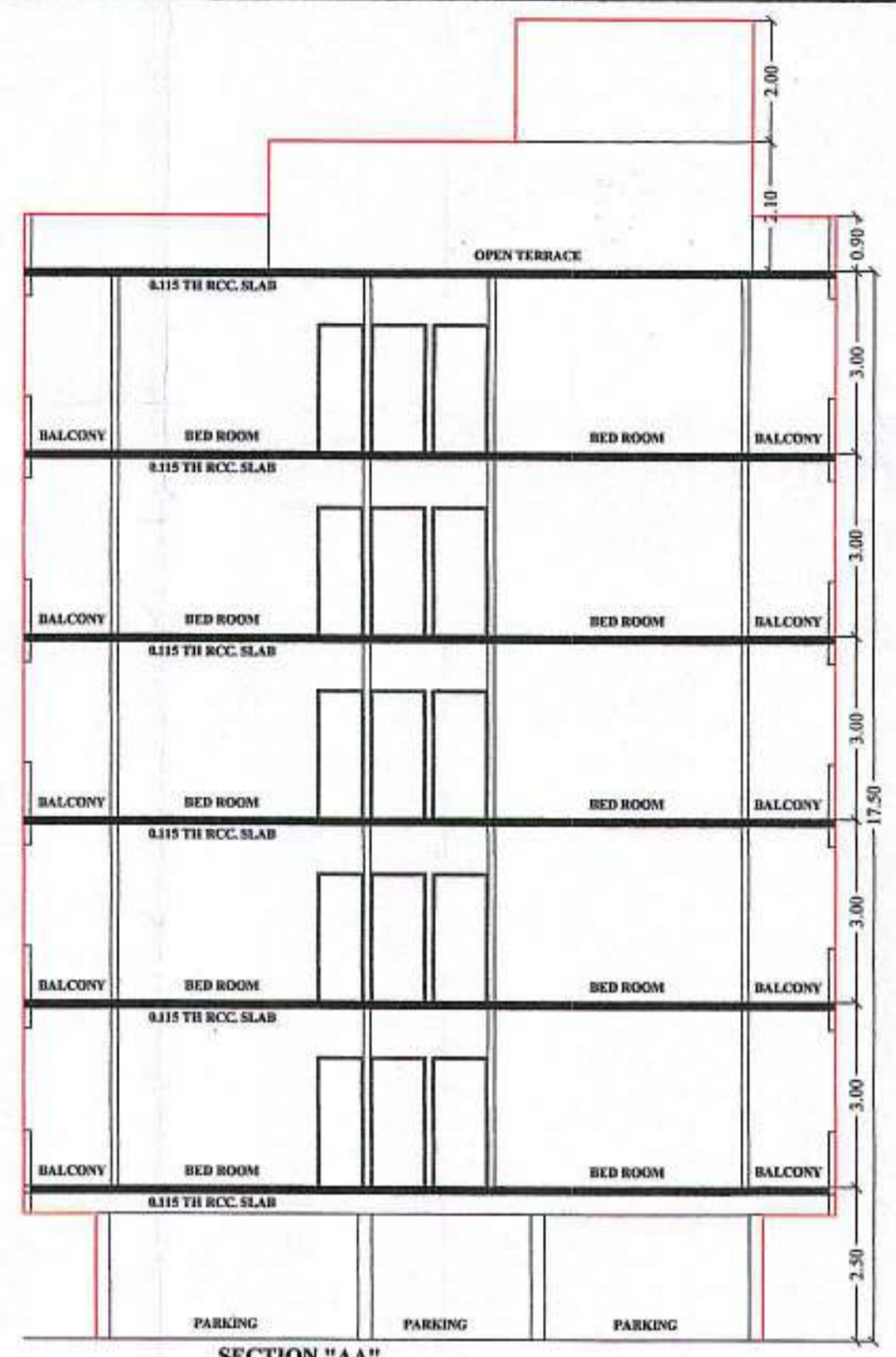


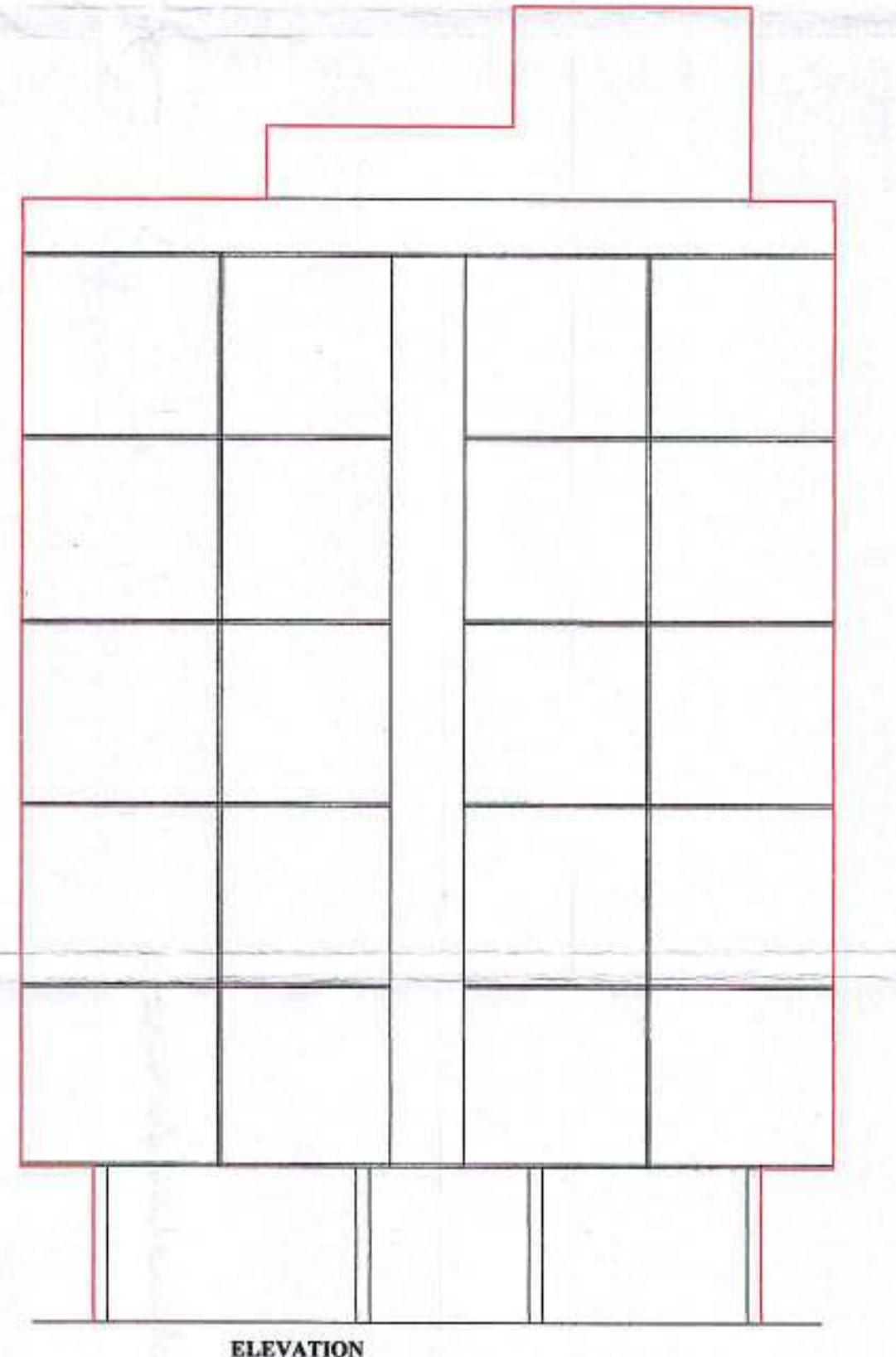
**GROUND FLOOR PLAN**  
BUILT UP AREA = 258.92 SQ.MT.



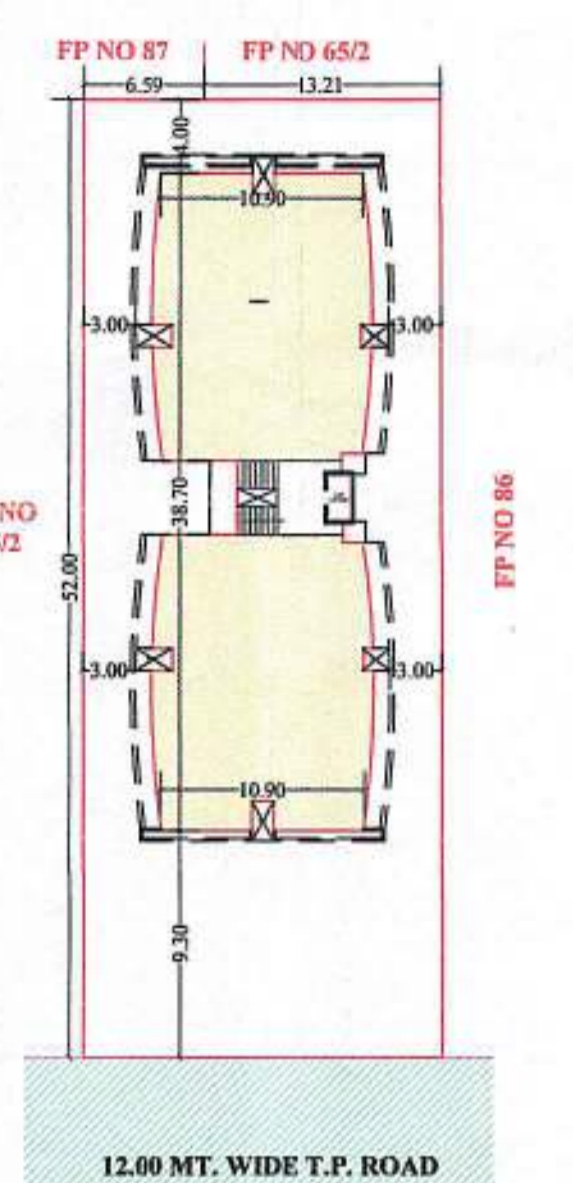
**1st TO 5th FLOOR PLAN**  
FSL = 308.46 X 5 FLOOR = 1542.30 SQ.MT.  
BA. = 333.26 X 5 FLOOR = 1666.30 SQ.MT.



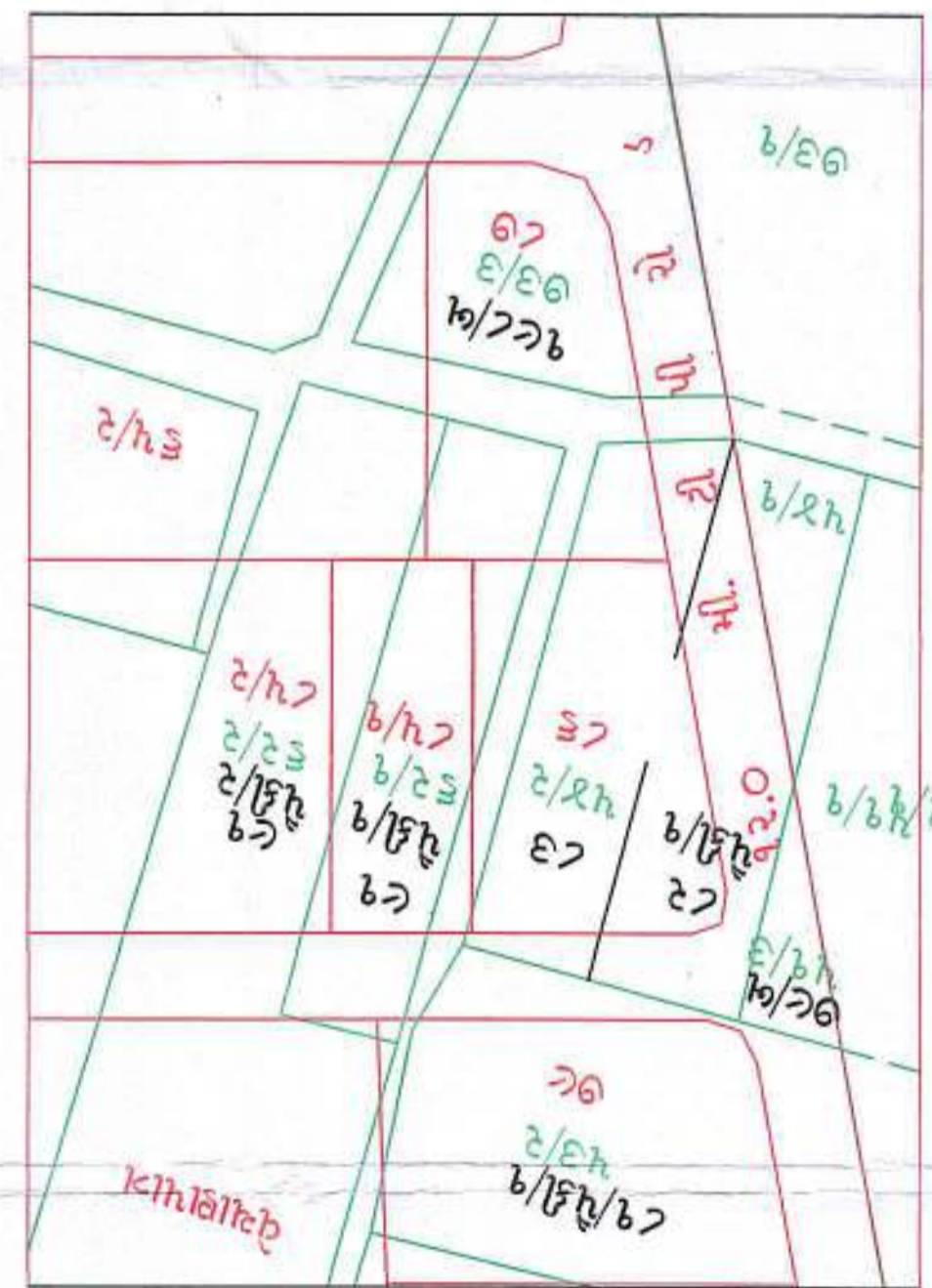
**SECTION "AA"**



**ELEVATION**



**LAY - OUT PLAN**  
SCALE: 1cm. = 4.0mt.



**KEY PLAN**  
SCALE: 1cm. = 20.0mt.

APPROVED SUBJECT TO CONDITION  
LAI D DOWN IN BUILDING PERMISSION  
Order No. Vuda / P.No. 6 / 2016 / 2016  
Date: 16/10/2016  
Urban Development Authority  
Vadodara.

**FORM No: 3**  
**(See Regulation No: 3.2(ix))**

A. AREA STATEMENT [PLOT NO: - ]		SQ. MTS.	B. LIST OF DRAWING ATTACHED		
Sr.	Description		Sr.	Copies	
1.	Area of land Plot/Property as per record or as per sight condition	1029.00			
2.	Deduction for:				
(a)	Proposed road	-			
(b)	any reservation	-			
3.	Net area of Plot	-			
4.	Common Plot	1029.00	II. REFERENCE		
5.	Balance area of Plot	-	Last Approved Plan(if any)		
6.	Permissible built up Area on Ground Floor(40%)	411.60	Permission Order No:		
7.	Total Permissible F.S.I. (1.60)	1646.40	Date of Approval:		
8.	Existing Built up Area	-	III. DESCRIPTION OF PROPERTY & PROPOSED DEVELOPMENT WORK		
(i)	Ground Floor [--- = sq.mt.]	-			
(ii)	Out house / Garage	-			
(iii)	First Floor	-			
(iv)	Upper Floor	-			
<b>TOTAL EXISTING BUILT UP AREA</b>		-			
9.	Proposed Built up Area	-			
(i)	Ground Floor (Main structure)	258.92			
(ii)	Out house / Garage	-			
<b>TOTAL PROPOSED BUILT UP AREA</b>		-			
<b>10. GRAND TOTAL OF BAREA ON G.F.</b>		-			
11.	Proposed floor space Area	Sq. Mts.			
Basement Floor	no of unit	BA.	F.S.I.		
H.P. at Ground Floor parking		258.92	-		
First Floor	2	333.26	308.46		
Second Floor	2	333.26	308.46		
Third Floor	2	333.26	308.46		
Fourth Floor	2	333.26	308.46		
Fifth Floor	2	333.26	308.46		
<b>TOTAL PROPOSED FLOOR SPACE AREA</b>		10 unit	1925.22	1542.30	
<b>12. Existing floor space Area (if any)</b>		-			
<b>13. GRAND TOTAL OF FLOOR SPACE AREA</b>		-			
14.	Total F.S.I. Consumed	1.60	>	1.49	
<b>B. PARKING STATEMENT</b>		Sq. Mts.			
Total Maximum Possible	Total Require	Reserved for	IV. North	Scale	Date
Floor space area	Parking space	Car 50%	Line		
Residential	(15%)	231.34			
Commercial	(30%)	-			AS PER DETAIL
	(10%)	-			
<b>Total Provided Parking space</b>		Provided on Ground Level	Provided on Other Level	Total Sq. Mts.	
Residential	233.92				
Commercial	-				
Industrial	-				

**VI. CERTIFICATE**

I Existing structure and adjoining property is seen by me and necessary precautions will be taken for smooth working without any defect to existing work. Manhole connection is possible and is verified by me on \_\_\_\_\_ and the dimensions of sides etc. of plot stated on are as measured on site and are so worked out in accordance with the area stated in the documents of ownership / T.P. record / property card or 7.12 record

**SIGNATURE**  
Architect/Engineer / Surveyor  
B.M.C. Registration No.:  
**DESIGN POINT**  
**TARUN G. SOJITRA**  
VMSS LIC.NO. ER/24/2016-19  
VUDA LIC.NO. E/386/2016-20  
VUDA LIC.NO. SS/217/2016-20

**VI. SIGNATURE**  
A. Patel  
Owner / Builder / Organiser / Developer or Authorised Agent of Owner

**Name :** \_\_\_\_\_  
**Address:** \_\_\_\_\_

**Legend:**  
 PROPOSED WORK  
 EXIST. WORK  
 ROAD  
 PARKING  
 PLOT BOUNDARY  
 COMMON PLOT

Development permission is granted subject to the condition the responsible applicant and his Architect / Survey / Structural Designer is to design to ensure safety of the Building in such structural designs are to be verified

**PROPOSED LAY OUT AND BUILDING PLAN IN**  
**F.P.No:85/1,T.P.No: 2, AT: BHAYLI, VADODARA.**