

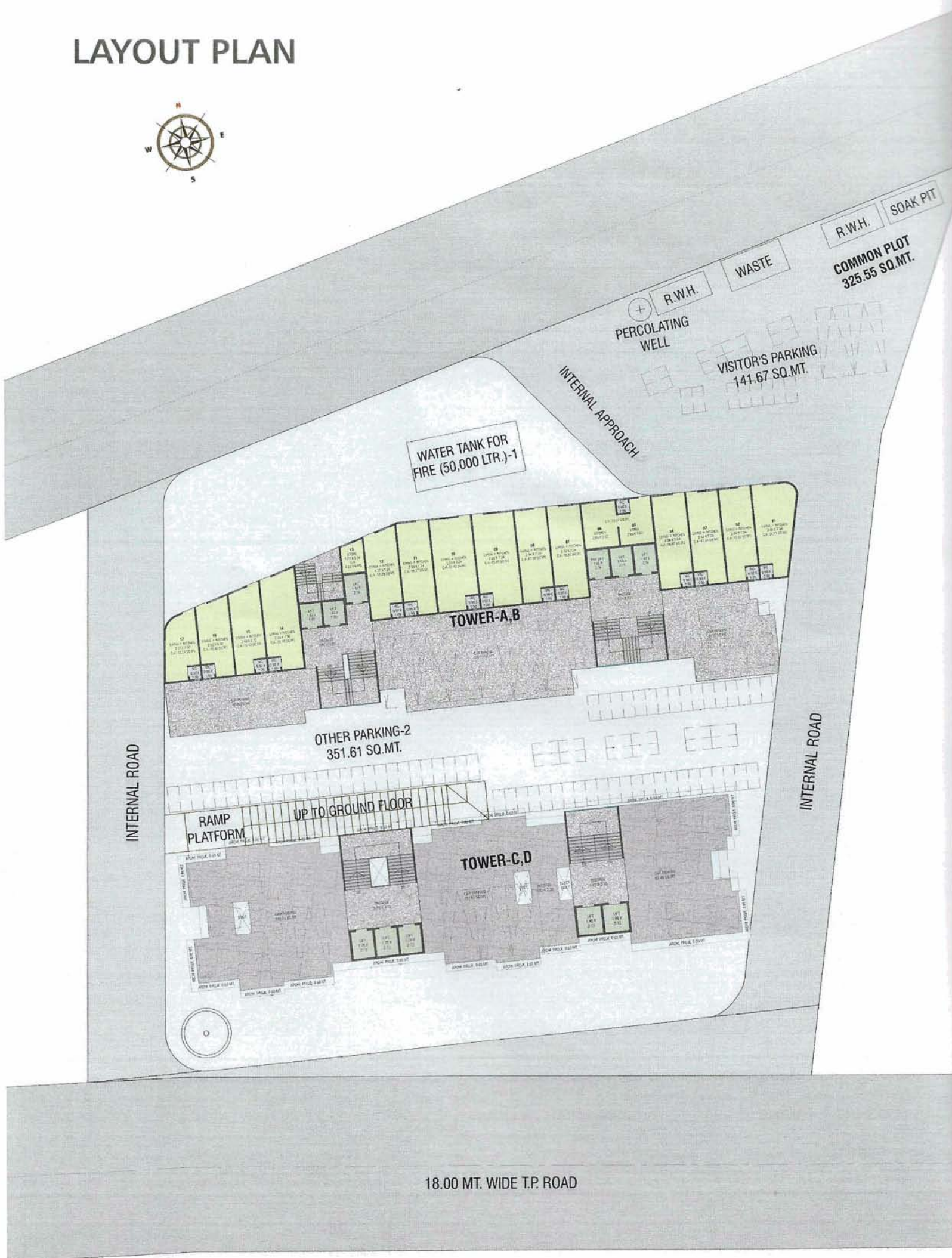
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1 & 2-BHK AFFORDABLE FLATS

LAYOUT PLAN



WATER TANK FOR FIRE (50,000 LTR.)-1

PERCOLATING WELL

WASTE

R.W.H. SOAK PIT
COMMON PLOT
325.55 SQ.MT.

VISITOR'S PARKING
141.67 SQ.MT.

TOWER-A,B

OTHER PARKING-2
351.61 SQ.MT.

INTERNAL ROAD

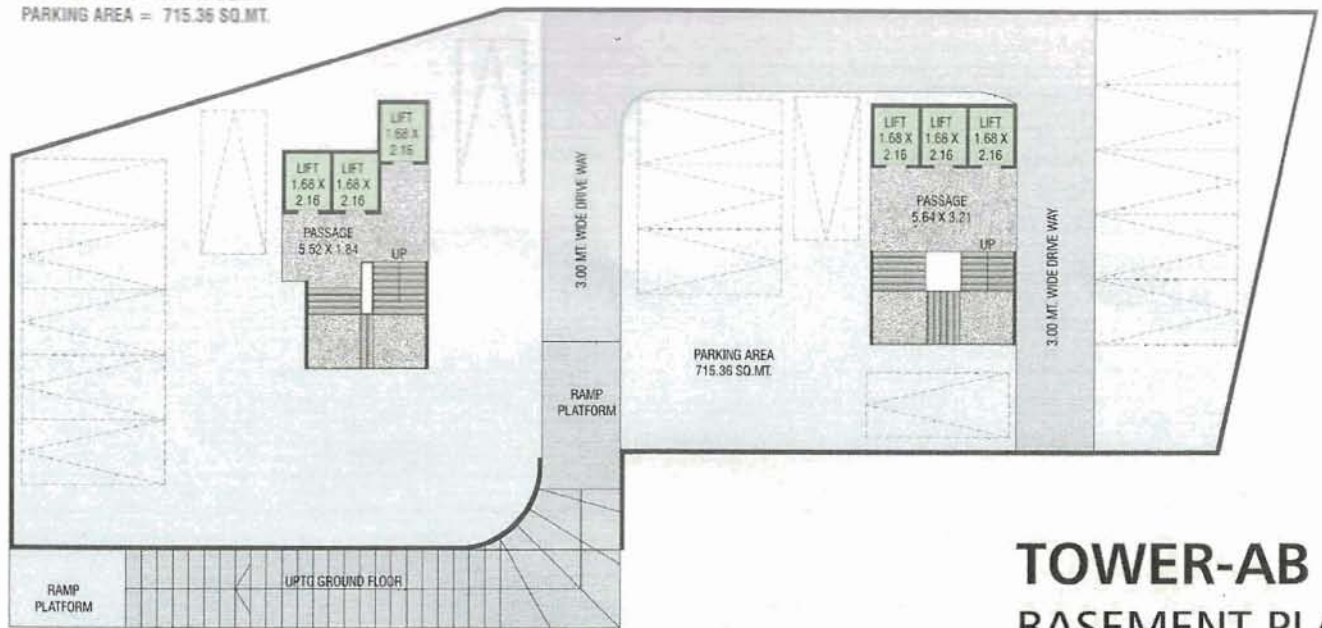
INTERNAL ROAD

RAMP PLATFORM
UP TO GROUND FLOOR

TOWER-C,D

18.00 MT. WIDE T.P. ROAD

BUILT UP AREA = 861.42 SQ.MT.
PARKING AREA = 715.36 SQ.MT.



TOWER-AB BASEMENT PLAN

SPECIFICATION

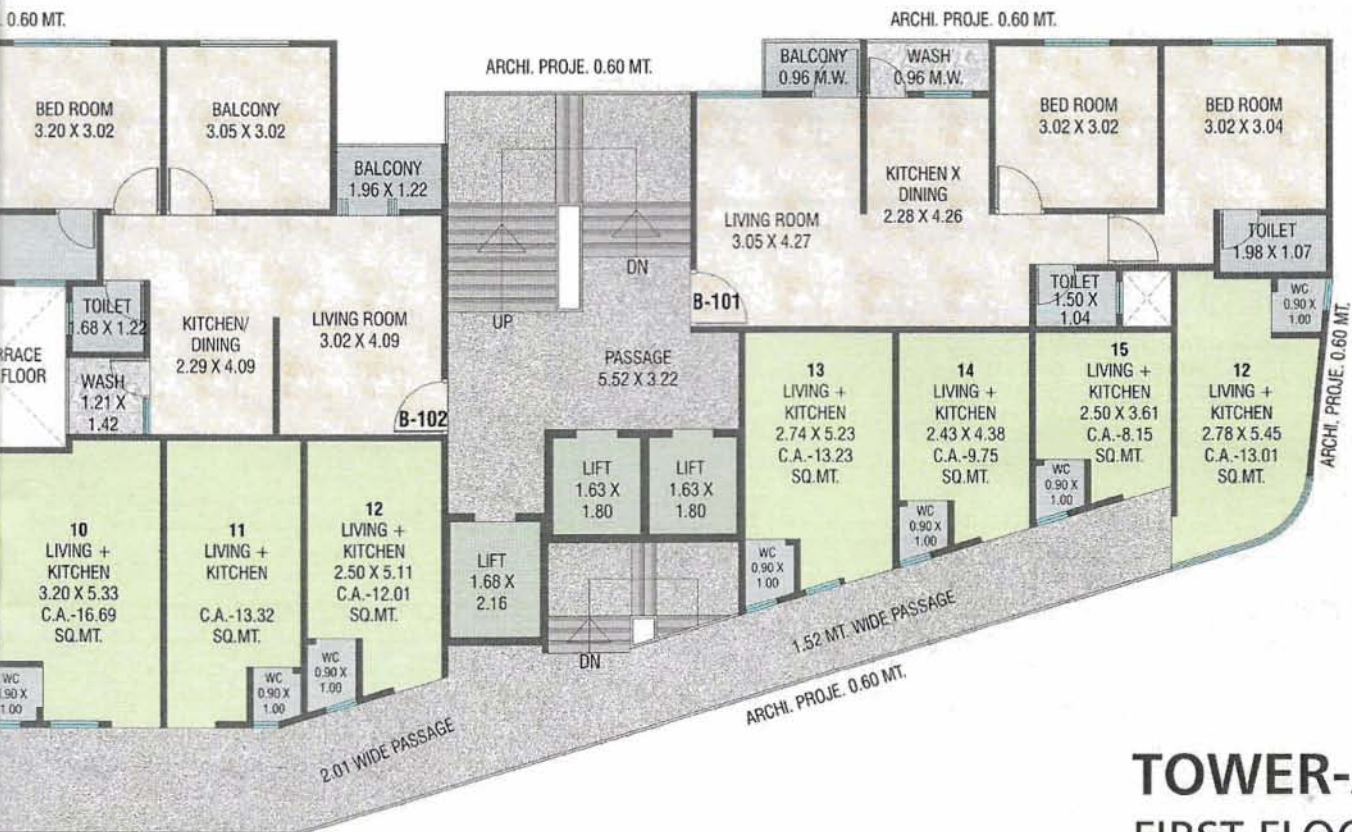
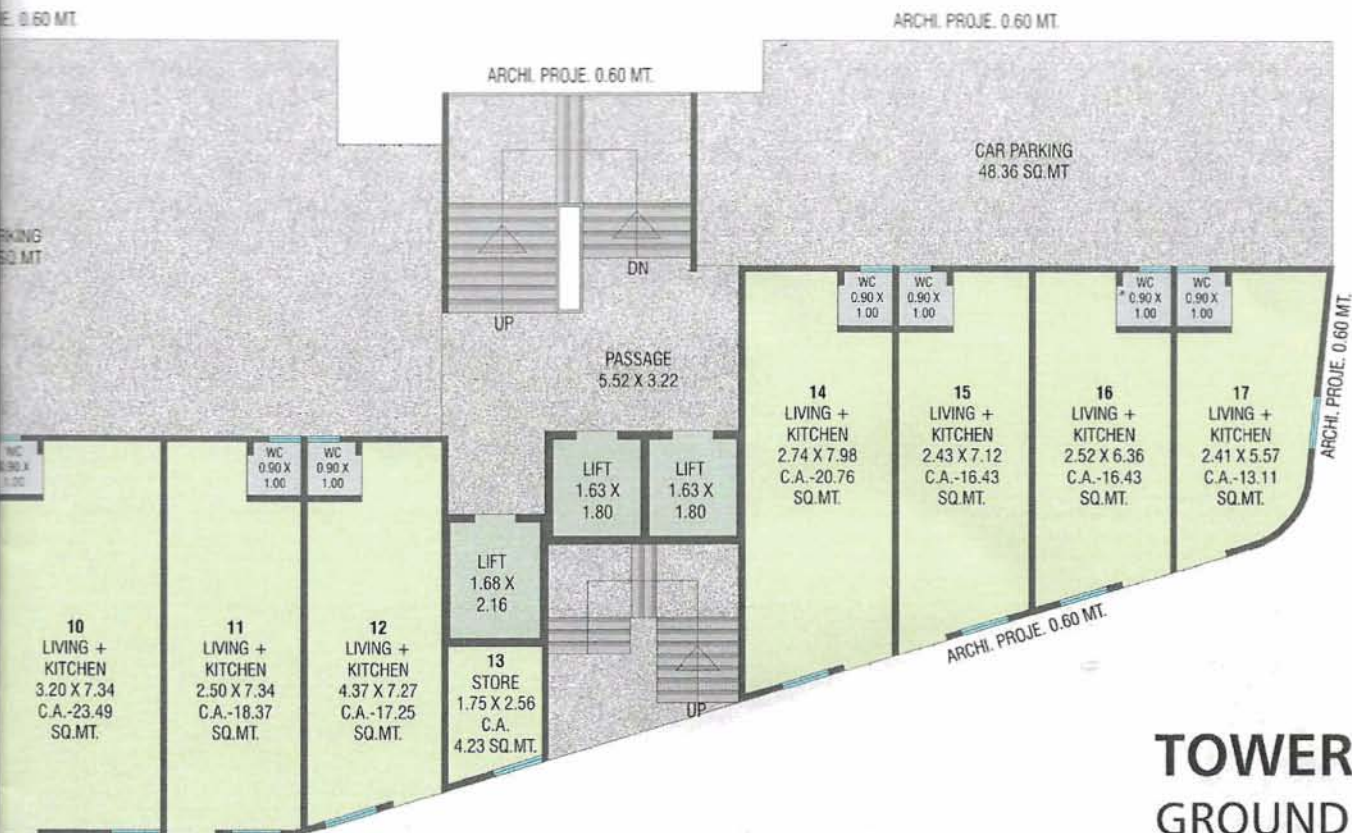
- Structure:** Earthquake resistant RCC frame structure as per structure design
- Finishing:** Internal smooth plaster with two coat putty, External plaster with weather paint
- Electrification:** Concealed ISI mark copper wiring, Good quality modular switches
- Windows:** Aluminum windows & natural stone sills
- Flooring:** Vitrified tiles flooring in all rooms
- Kitchen:** Granite platform with SS Sink and premium branded wall tiles Dedo upto lintel level
- Bathroom:** Designer tiles with standard quality C.P. Fittings
- Doors:** Elegant entrance door & Internal flush door

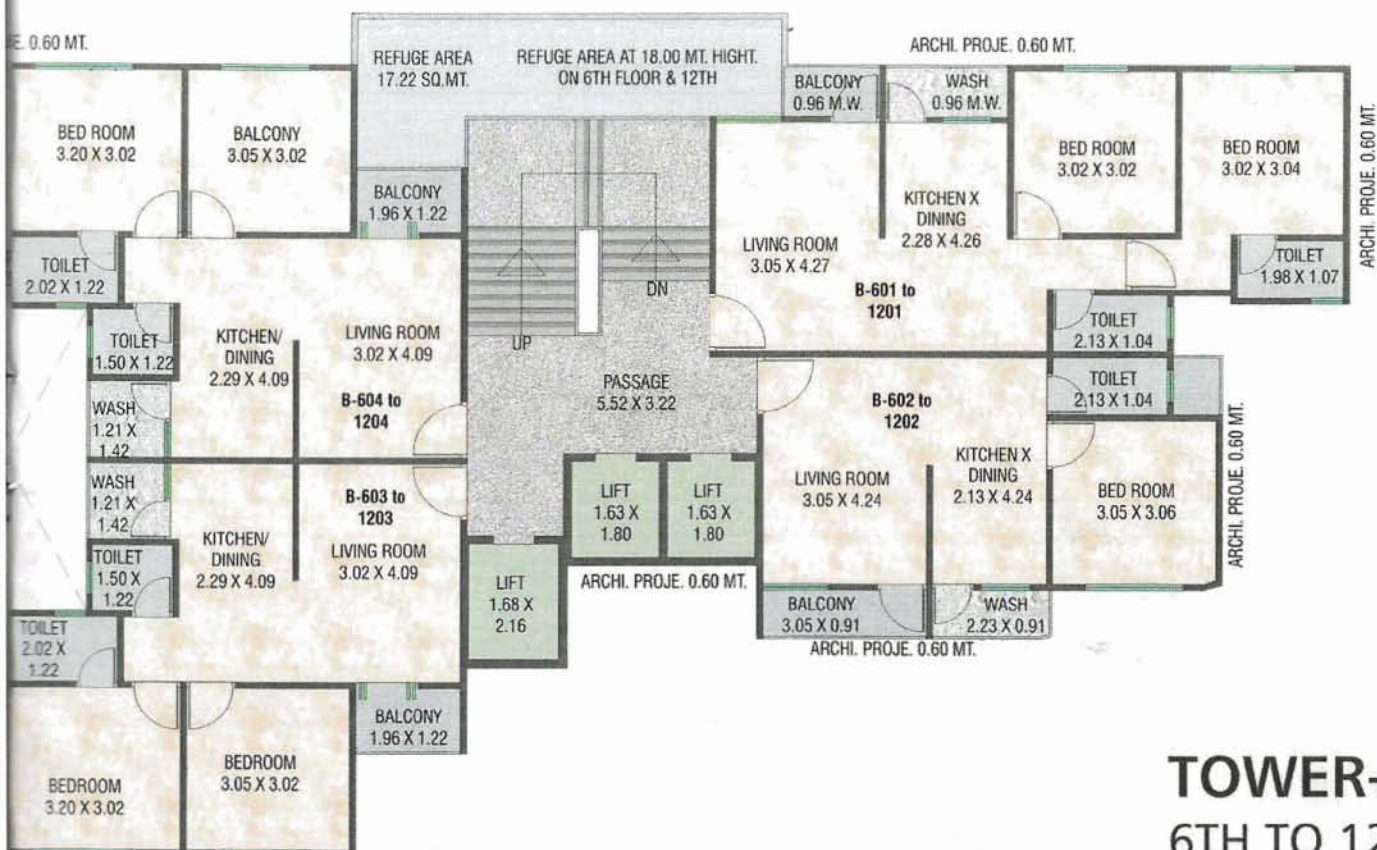
VALUABLE AMENITIES

- 24 Hrs. Security
- Lush Green Garden
- Children Play Area
- Power Back for Common Utility

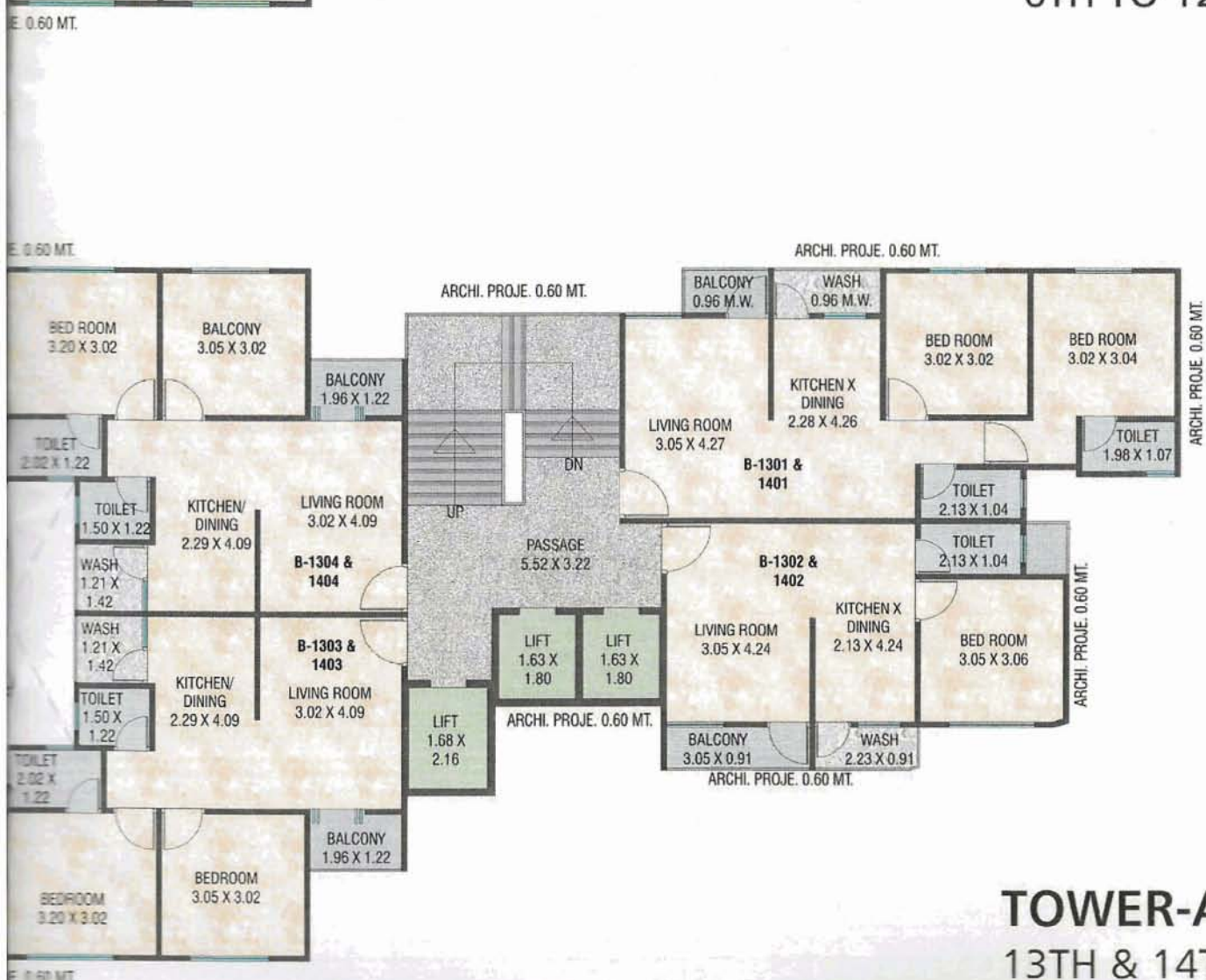
FEATURES

- Underground & Overhead water tank with sensor
- 24 Hours water supply
- Standard quality passenger elevators
- Individual R.O. water Purifying system
- Attractive name plate & letter box to maintain the uniformity of the project

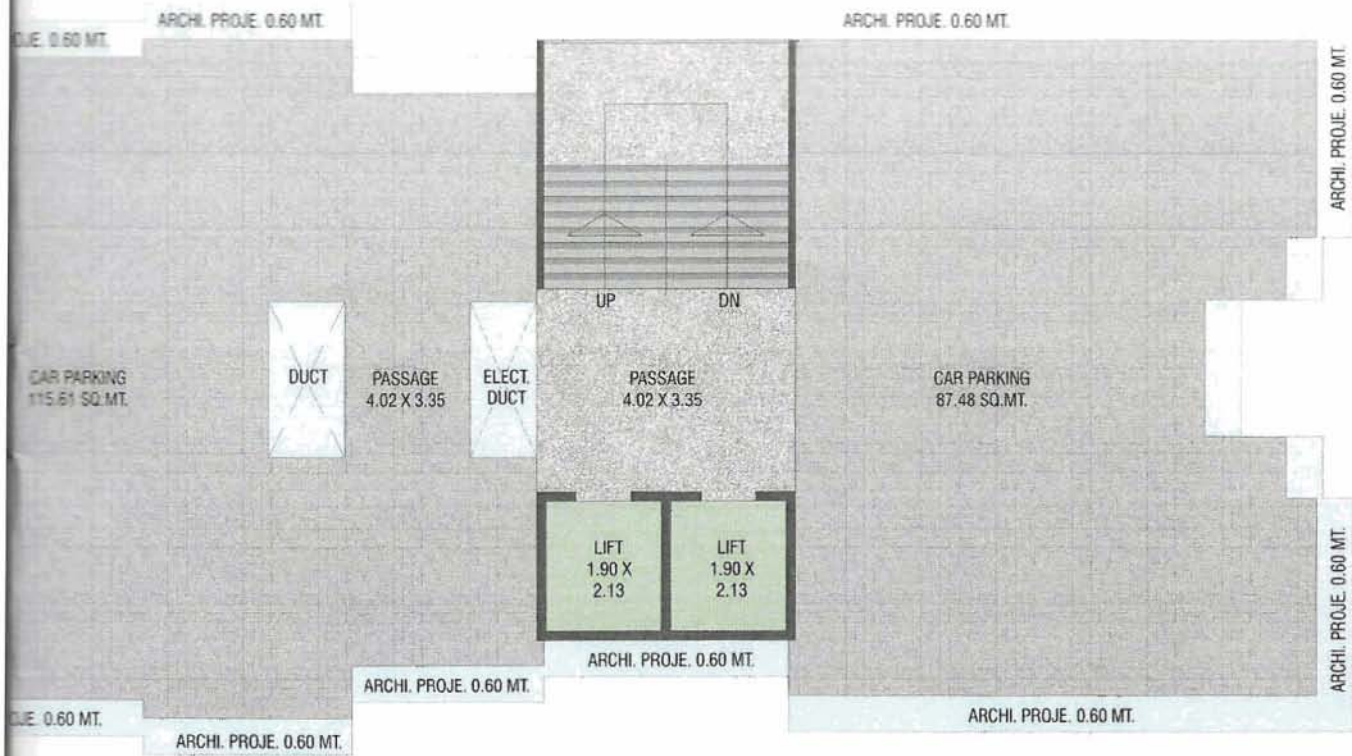




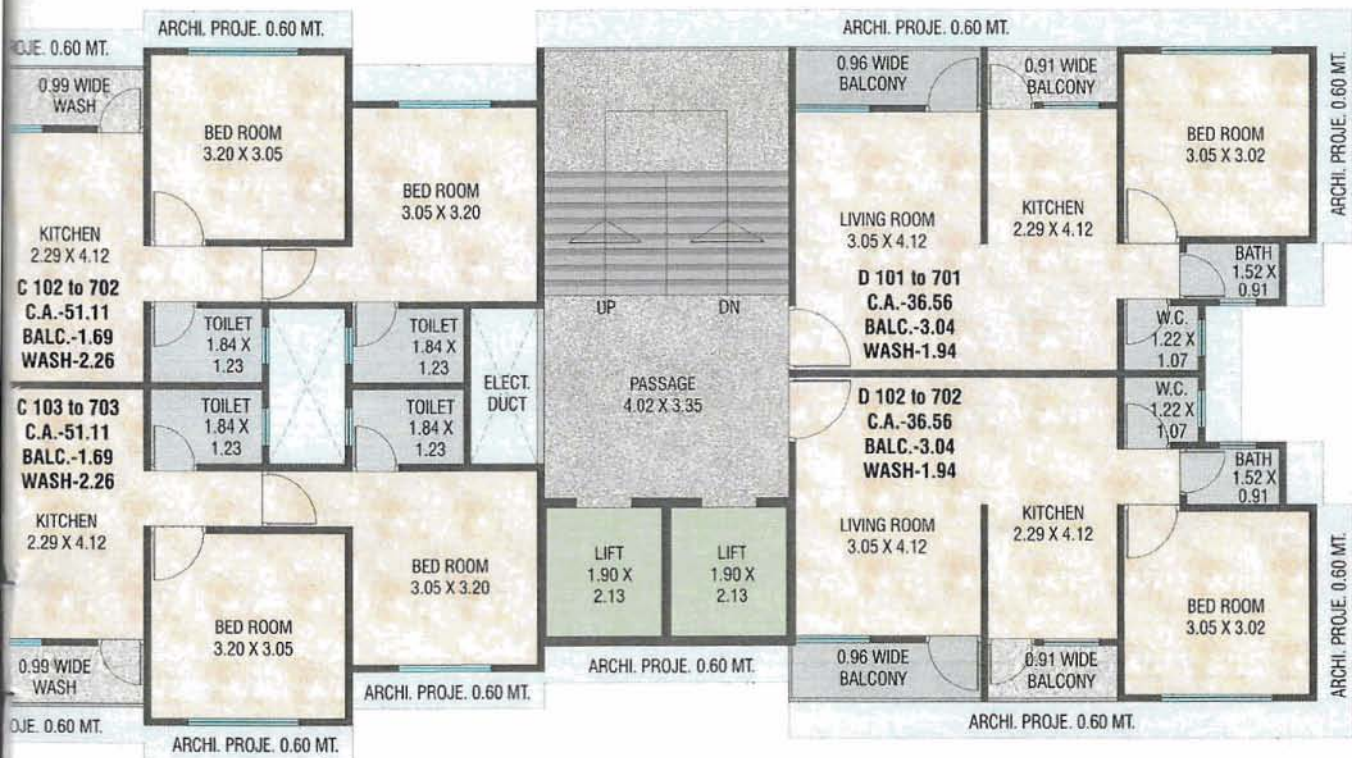
TOWER-AB
6TH TO 12 FLOOR



TOWER-AB
13TH & 14TH FLOOR



TOWER-CD GROUND FLOOR



TOWER-CD 1ST & 7TH FLOOR



SITE:

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Vadodara

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+91 99250 38330

WEBSITE:

www.deveshgroup.in

DEVELOPERS:

Adhya Enterprise

STRUCTURE:

Zarna Associates

WEBSITE:



Ruchir Sheth (Design Studio)
Architects & Interiors

DISCLAIMER : Premium quality materials or equivalent branded products shall be used for all construction work. •Right of any changes in dimensions, design specifications will be reserved with the developer, which shall be binding for all members. • External changes are strictly not allowed. • Development charges, GST Charge, documentation charges, stamp duty, all municipal taxes, G.E.B. meter deposit should be levied separately. • Each member needs to pay maintenance deposits separately. • In case of booking cancellation, amount will be refunded from the booking of same premise after deducting 10% of booking amount. • Possession will be given after one month of all settlement of account. • Extra work at the cost of client with prior estimate needs to be given in advance but no change in elevation and plan will be done. • The developer reserve the full right to make any changes. • This brochure does not form a part of agreement or any legal document, It is easy display of project only.

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