



THE
ADDRESS OF
SHEER LUXURY



LAKSHMI VILLA

3 & 4 BHK LUXURIOUS LIVING



LAKSHMI VILLA

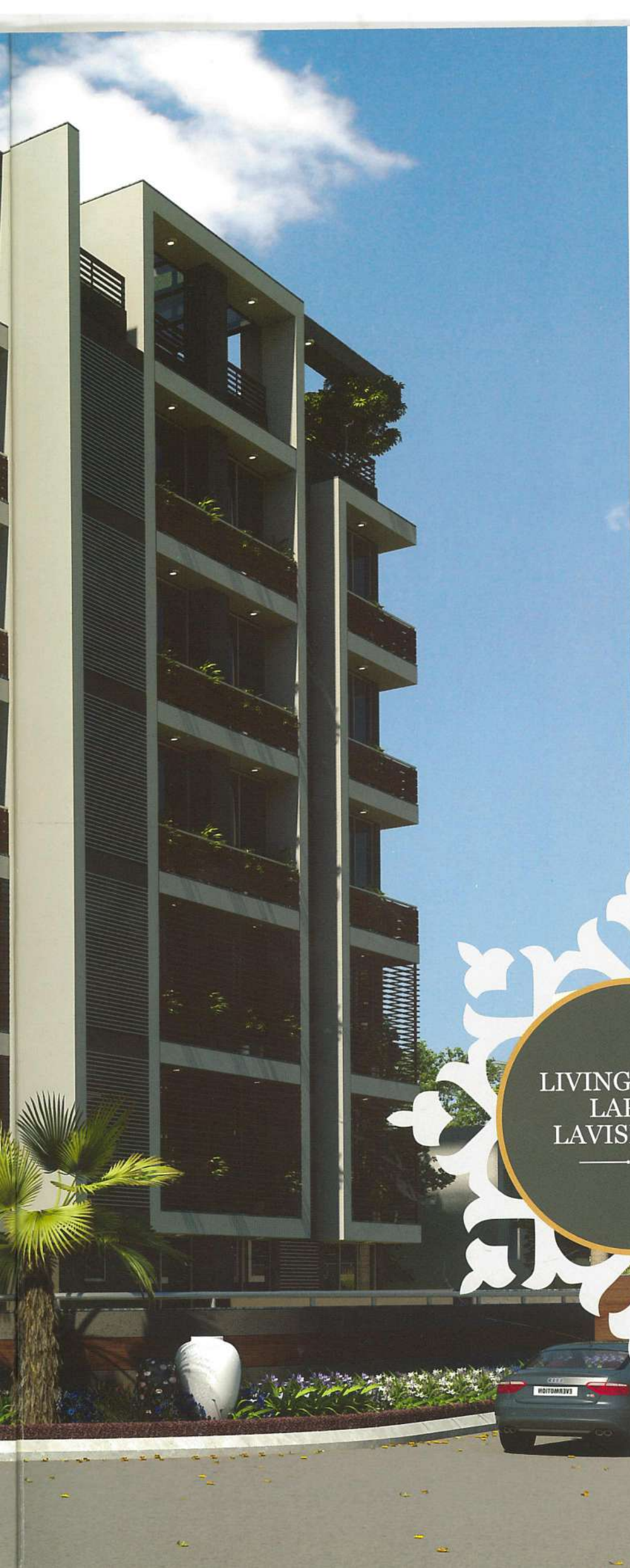


“Luxury to me is not about buying expensive things; it’s about living in a way where you appreciate things”

We are Arihant Corporation - making your dreams come true through beautiful living spaces. Lakshmi Villa is our yet another presentation that has everything that you always wished for a lovely home. We design spaces that make you happy. Present in the industry for years, we understand what does a family wish for a home. We have expert professionals on board who guide the entire process of designing a structure that does not miss out on anything. Our team of architects, designers and support professionals know that a space should not only be beautiful but should be comfortable and ergonomic as well. Hence, every space we design has all the elements that make it convenient and fine-looking at the same time. We promise to bring you more such spaces in the coming time.

Arihant
CORPORATION





Your dream to live in the lap of lavishness has come true with our introduction of **Lakshmi Villa**. Each apartment is designed in a manner so beautiful that it will make you forget the worries of the world the moment you step inside. The 3/4 BHK apartments have a class of their own. **Lakshmi Villa** is not just an address of lavishness; it's an address of happiness too.

We bring to you all kinds of comfort through our choicest of specifications at the apartment. We have made sure that you do not miss anything at home. Yet another beauty of **Lakshmi Villa** is its location. Based right in the heart of the city at Paldi, **Lakshmi Villa** is connected to your world. **Shopping Malls, Restaurants, Schools, Colleges, Vegetable Market** and your office too will not be far. Everything that you always desired in a home and its surroundings wrap up in an address so beautiful – **Lakshmi Villa**.

LIVING IN THE
LAP OF
LAVISHNESS



LAKSHMI VILLA

3 & 4 BHK LUXURIOUS LIVING





BEAUTIFUL TERRACE GARDEN

We have handpicked choicest of specifications and amenities for your home to make it convenient and good-looking. Here is a list that will make your home a piece of heaven, the moment you step inside. Lakshmi Villa is not just an address of lavishness; it's an address of happiness too.









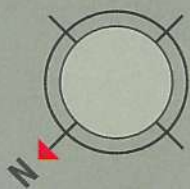
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Typical Floor Plan

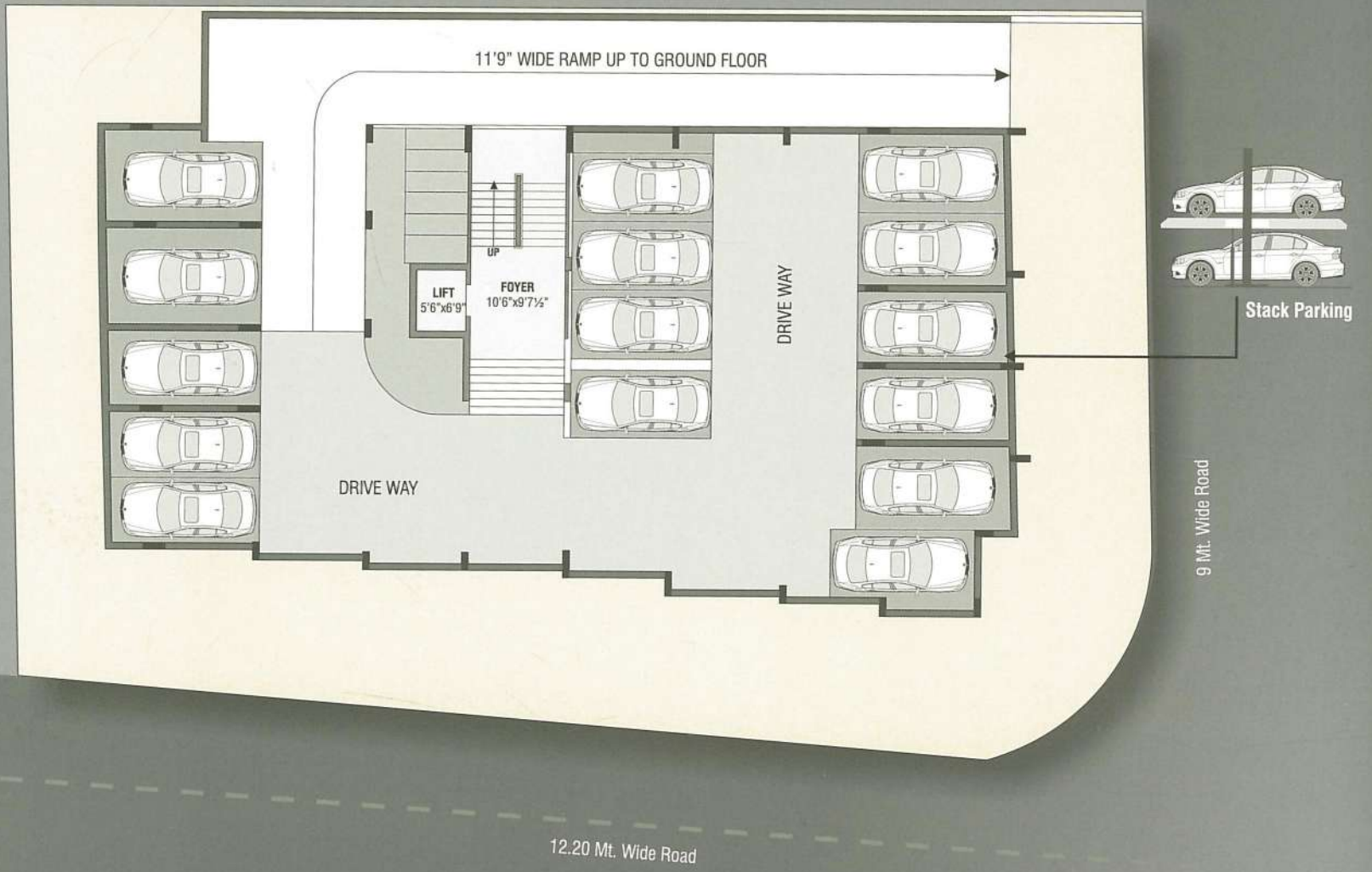




101

102

Basement Floor Plan



Basement Stack Parking

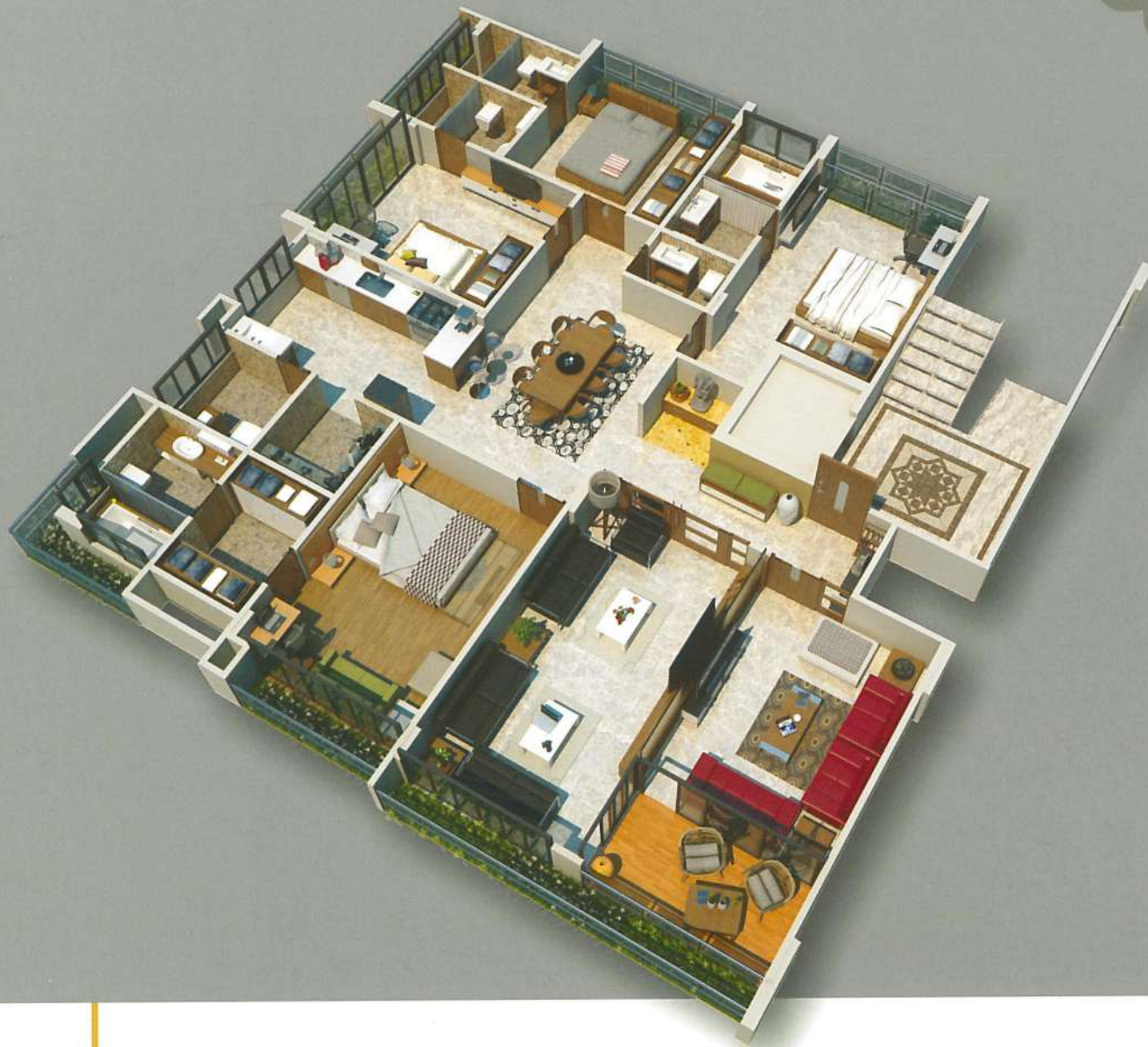


CCTV Camera



Ground Floor Plan





4 BHK Floor Plan

1. VESTIBULE - 9' 10.5" x 5' 0"
2. FORMAL LIVING - 10' 6" x 14' 0"
3. BALCONY - 10' 6" x 5' 7.5"
4. FAMILY LIVING 11' 0" x 20' 0"
5. M. BED ROOM - 11' 6" x 16' 0"
6. DRESS - 6' 0" x 8' 6"
7. TOILET - 6' 4.5" x 8' 6"
8. STORE - 6' 0" x 6' 0"
9. WASH - 6' 4.5" x 6' 0"
10. KITCHEN - 13' 9" x 9' 0"
11. DINNING - 11' 6" x 16' 0"
12. BED ROOM - 13' 4.5" x 11' 0"
13. TOILET - 8' 0" x 5' 1.5"
14. P. ROOM - 5' 6" x 4' 4.5"
15. BED ROOM - 11' 9" x 10' 6"
16. TOILET - 8' 0" x 5' 0"
17. TOILET - 5' 6" x 8' 6"
18. BED ROOM - 11' 0" x 15' 0"
19. PUJA - 4' 7.5" x 4' 1.5"





3 BHK Floor Plan

- | | | |
|-----------------------------------|-------------------------------|---|
| 1. Drawing Room - 11' 0" x 19' 0" | 5. Wash - 4' 0" x 6' 10.5" | 9. M. Bed Room - 10' 6" x 16' 10.5" / 10.8.5' x 15"0" |
| 2. Balcony - 11' 0" x 5' 3" | 6. Store - 4' 0" x 5' 9" | 10. Toilet - 5' 0" x 8' 0" / 5'0 x 9'0" |
| 3. Dining - 12' 4.5" x 12' 6" | 7. Toilet - 5' 4.5" x 6' 3" | 11. Bed Room - 15' 0" x 10' 0" |
| 4. Kitchen - 8' 0" x 12' 7.5" | 8. Bed Room - 10' 9" x 13' 0" | 12. Toilet - 5' 0" x 8' 4.5" |



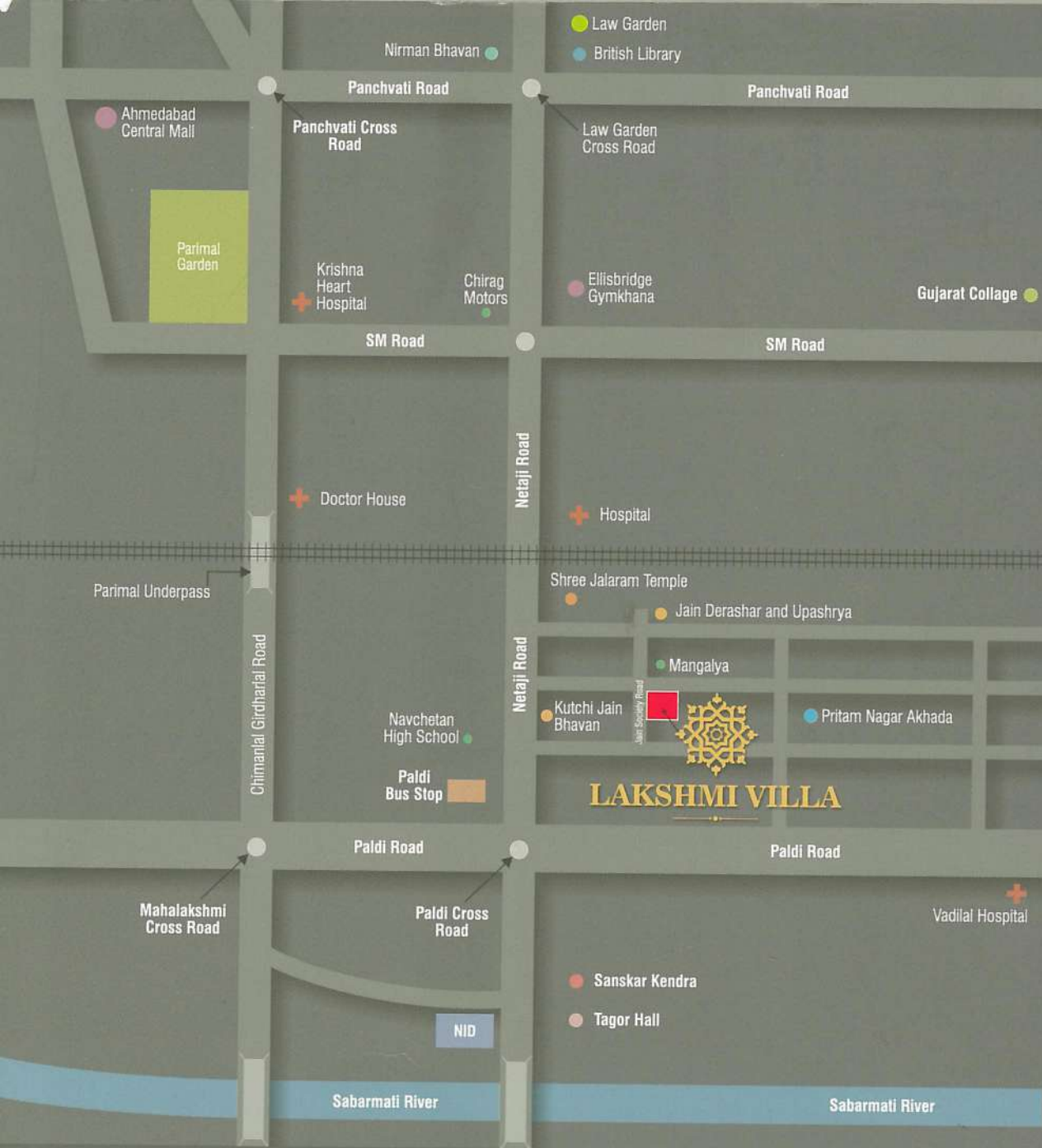


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SPECIFICATION AND AMENITIES

Wall finishes	All rooms are finished by single coat mala plaster with putty finish.
Flooring	Premium quality Italian Marble flooring in Vestibule, Living room & Dining area. Laminated wooden flooring in Master bedroom. Premium quality Vitrified tile flooring in all other rooms. Balcony floor finished by designer tile or natural stone with planter. Wash area finished by natural stone.
Doors & windows	Decorative main door with wooden frame & wooden shutter with ss night latch. All other doors water proof Plain solid core block board flush shutter with quality lock on wooden frame. Superior Quality Anodized aluminum sliding window with granite revile.
Toilet	Premium quality anti skid tile & Easily maintainable & modern designer tile concept up to lintel level and above lintel level finished with putty. CP fittings of JAQUAR, GROHE or equivalent brand and sanitary ware of CERA or equivalent make. Shower panel or wall mounted jet in master toilet.
Electrical	3 - Phase concealed & fire resistant right gauge wiring of "ISI" copper wire with finolex or equivalent make. Distribution board with "MCB" & "ELCB" to "ISI" make modular electrical accessories. Ample electrical points in all areas. Good quality of earthing for whole unit. Landline phone conduit. Dish TV wiring conduit. Broad band net connection conduit. Modern electronics security systems & communication system in all applicable areas. Video door phone facilities in each apartment. Auto sensor water pumping systems.
Special Features	Safe & sound quality controlled R.C.C. frame structure with best material components earthquake resistant design as per IS CODE. Double coat sand face plaster on external walls. Long lasting & weather resistant acrylic paint of standard make to all external walls. SS railings in all apartments & common areas. Water proofing in all toilets & terrace area to prevent seepage. Water repellent chemical coating treatment to all external walls. Corrosion free and leak proof CPVC/UPVC pipe & fittings. SWR drainage system for easy maintenance.
Amenities & Security	Terrace Garden development with semi covered sitting. Design for maximum cross ventilation. Exhaust fan point provision in kitchen & toilets. Clean & sufficient parking at ground level & multi level parking at basement level. Safe and smooth modern lifts having sufficient capacity. Bore & underground water storage tank to ensure 24 hours water supply. Video Door Phone, Intercom & 24 hours Security Guard for our prestigious members safety. Ac conduct piping in all bed rooms & living rooms.





RESIDE
AT PALDI THE
SOUL OF
AHMEDABAD

Nearest Prime locations

- Sanskar Kendra Museum
- Tagore Memorial Hall.
- National Institute of Design
- Mahalaxmi Temple
- Jalaram Temple
- Dharnidhar Jain Derasar
- Sai Baba Temple
- AIMS Hospital
- Sanjivani Hospital
- Indian Red Cross Society

Proximity

- Ahmedabad Railway Station is just 7 km
- GSRTC Bus Station is around 2 km
- Sardar Vallabhbhai International Airport is 16 km

DEVELOPER

Arihant
CORPORATION

Site Address : Plot-30, Jain Society,
Opp. Mangalya Flat, Pritamnagar Akhada Road, Paldi, Ahmedabad.
Contact : +91 98253 53669, +91 93270 38589

Disclaimer :

- Stamp duty, Registration, Maintenance, Service Tax, VAT, Torrent Power, AMC & Other Govt. charges if any shall be borne by purchaser.
- Developers reserves their right to make any change/revision to the project for any part of any detail and that shall be binding to the purchaser.
- Furnishings and shown in brochure here are only for presentation purpose and will not be provided.
- This brochure is only for advertisement and it shall not be considered as a part of any legal documents.
- Developer is only eligible for any income generated from terrace rights or the advertisement rights. Members cannot at any point in time ask Developer to give in-part or full of any income generated from these rights.
- Developer will not allow any changes in Exterior elevations, grill/screening outside unit, open wiring/cablings outside building for any services.

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