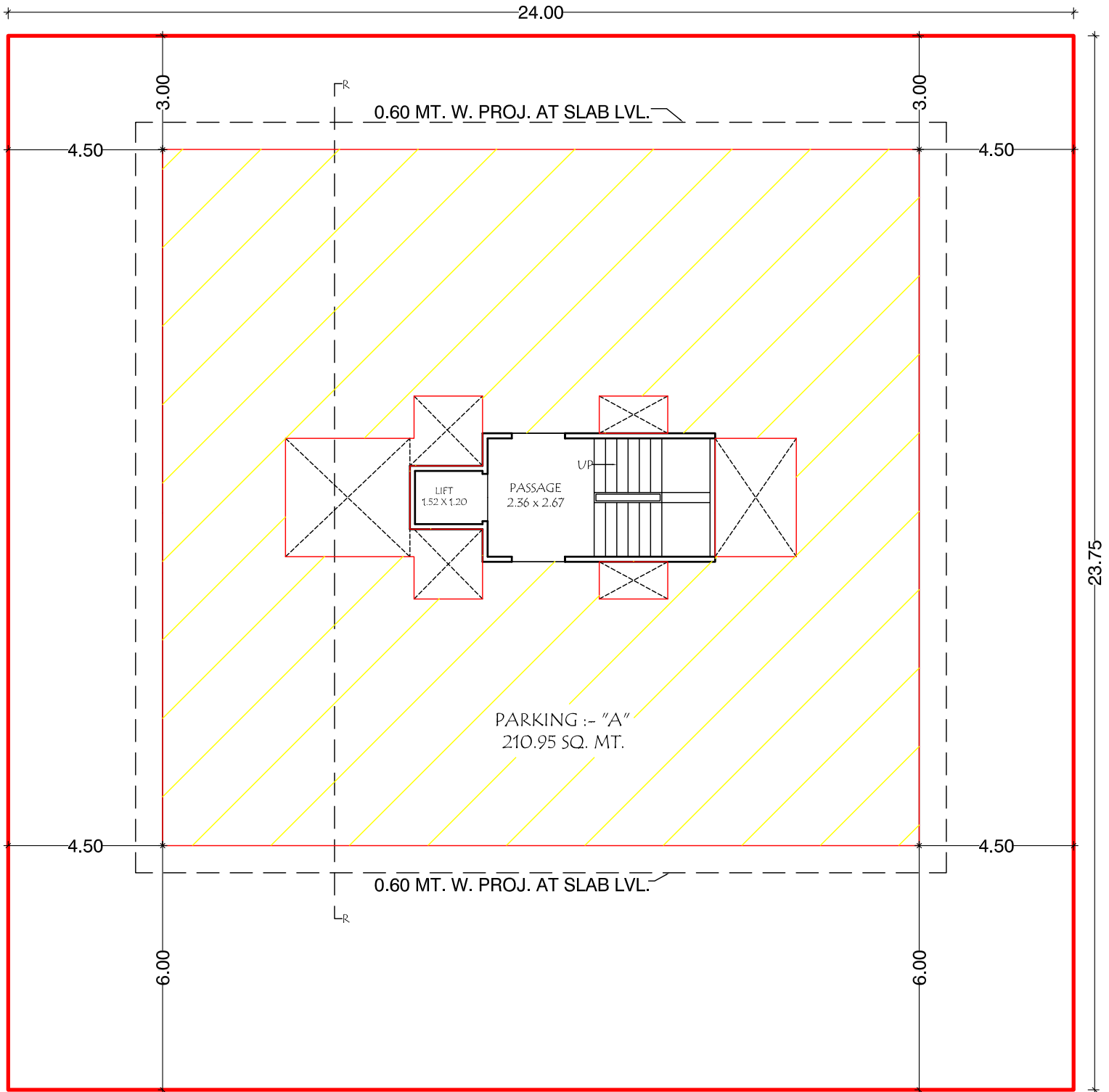




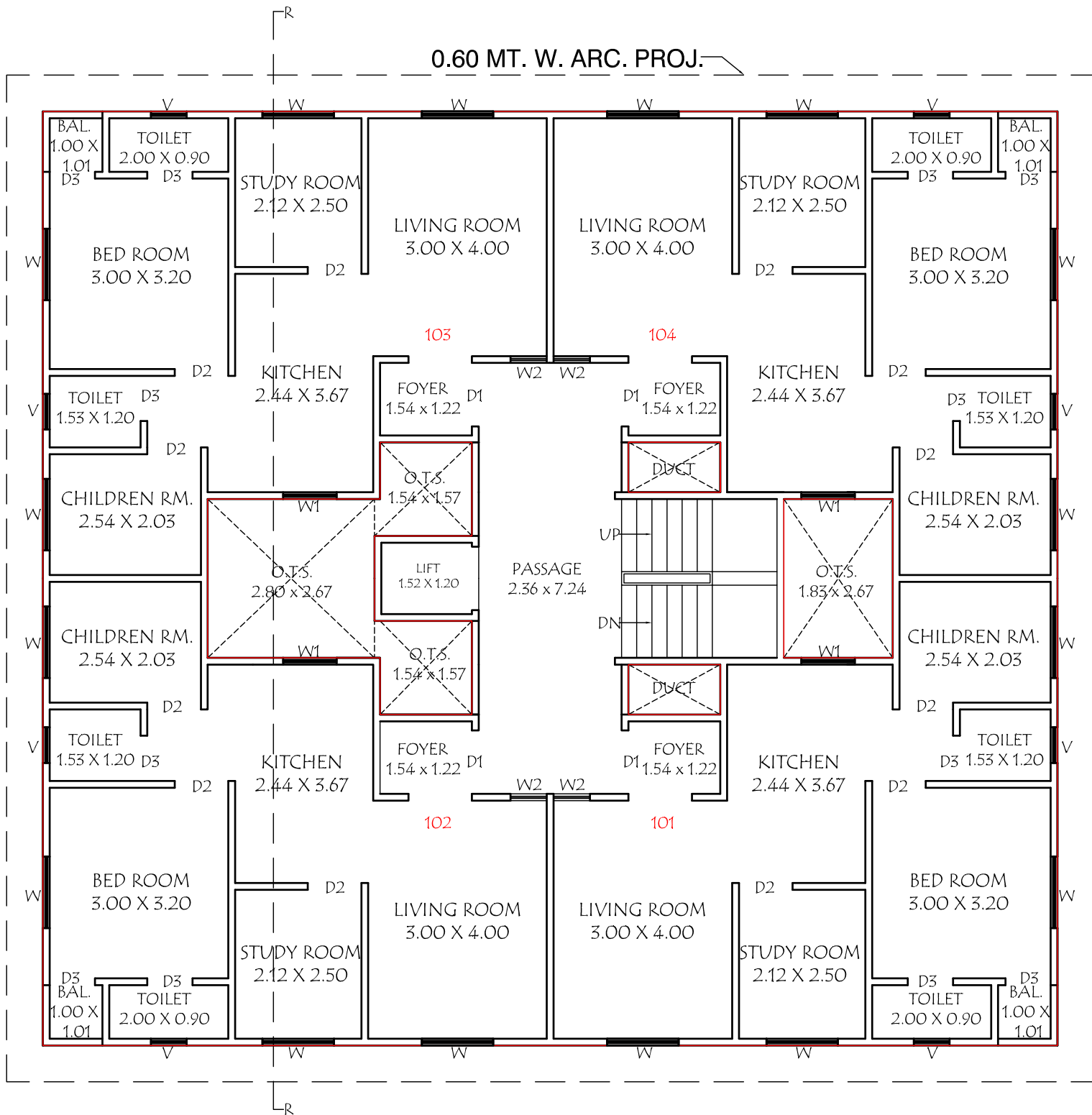
ATHARVA

SARTHAK



GROUND FLOOR PLAN
B.A. :- 227.99 SQ. MT.

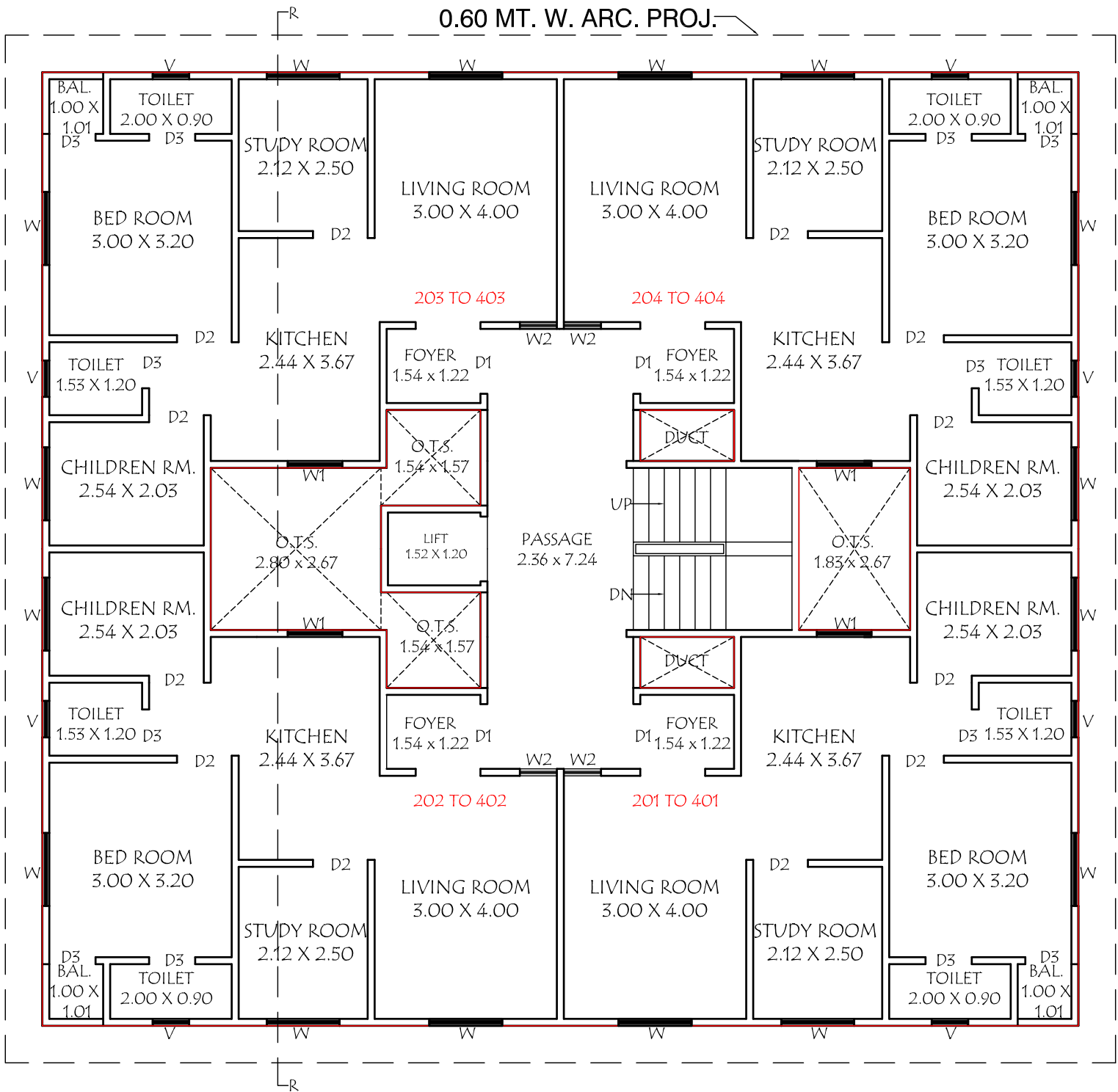
18.00 MT. WIDE T.P ROAD



FIRST FLOOR PLAN

B.A. :- 218.27 SQ. MT.

STAIR & LIFT AREA :- 15.11 SQ.MT.

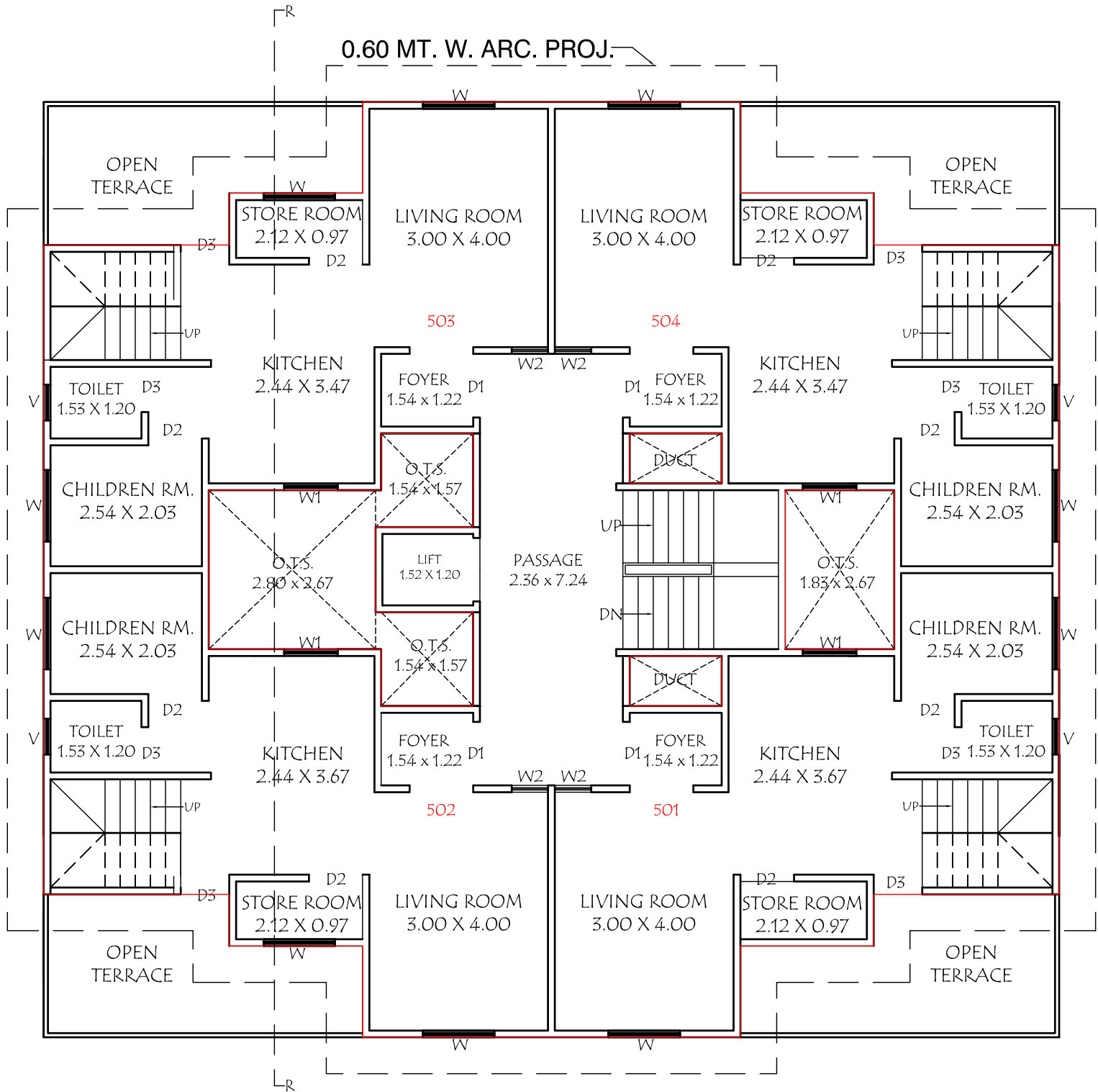


TYPICAL FLOOR PLAN

(SECOND, THIRD & FOURTH FL.)

B.A. :- 218.27 X 3 = 654.81 SQ.MT.

STAIR & LIFT A. :- 15.11 X 3.00=45.33 SQ. MT.

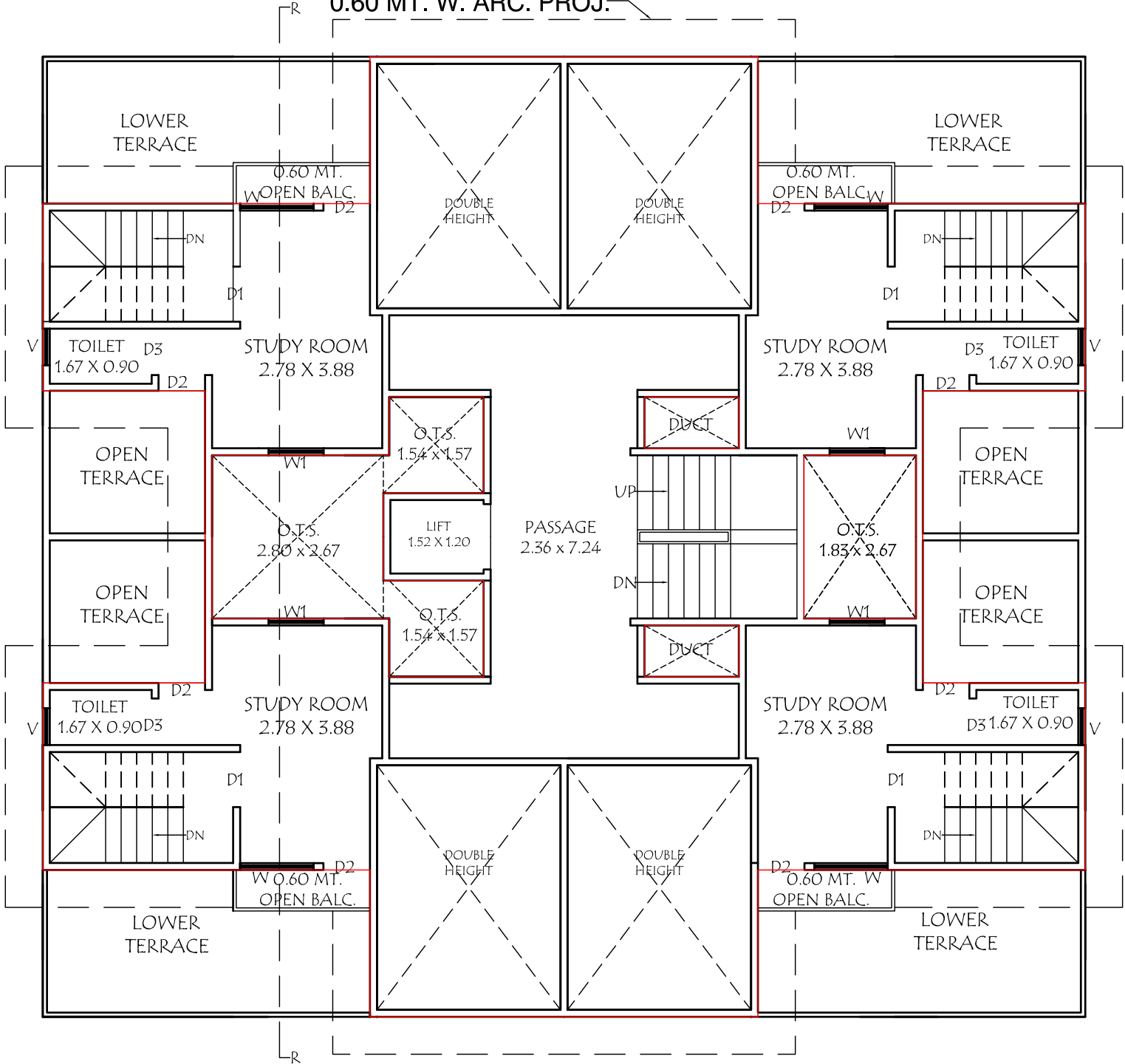


FIFTH FLOOR PLAN (lower level)

B.A. :- 164.53 SQ. MT.

STAIR & LIFT AREA :- 15.11 SQ.MT.

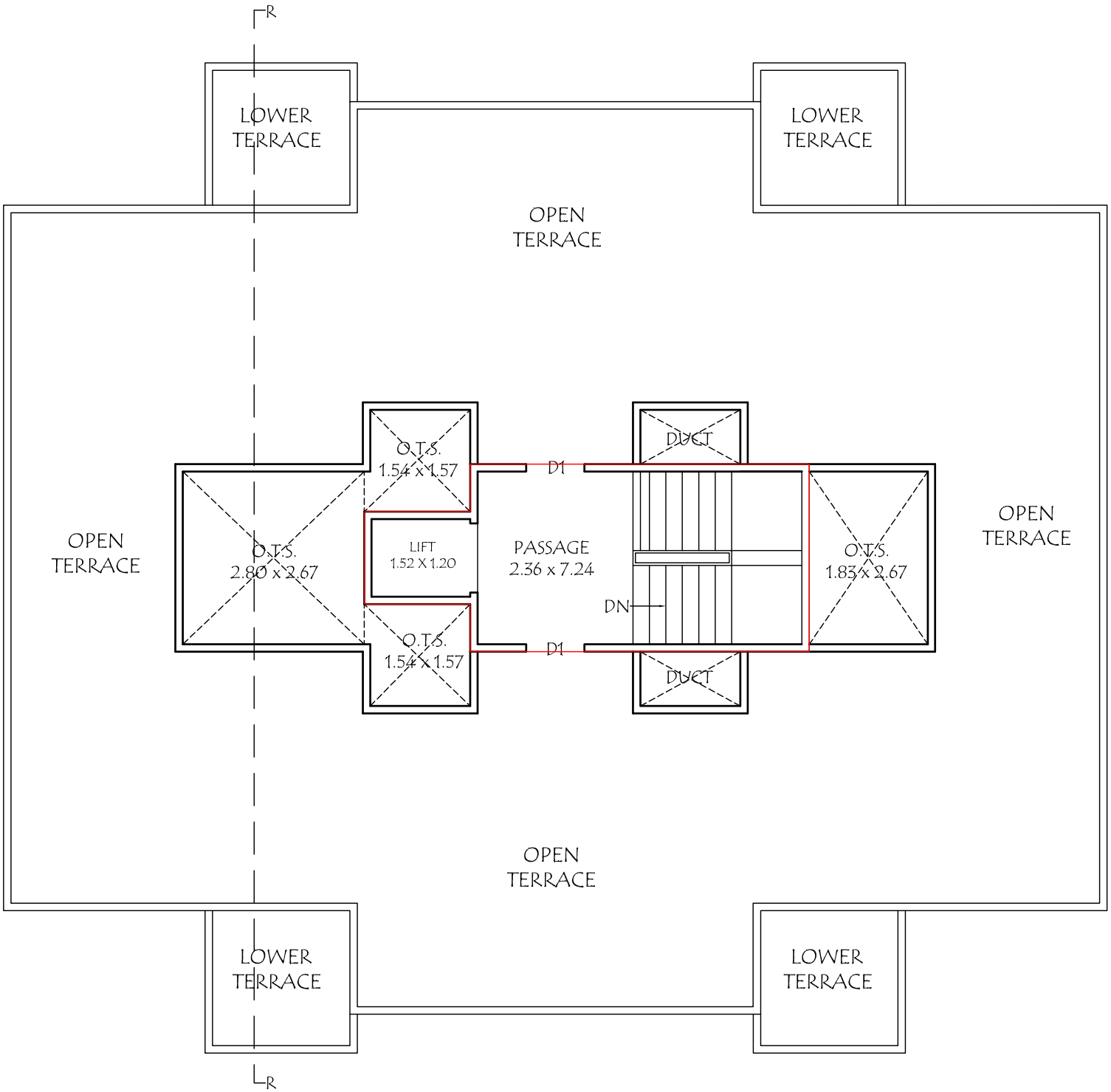
0.60 MT. W. ARC. PROJ.



FIFTH FLOOR PLAN (upper level)

B.A. :- 102.91 SQ. MT.

STAIR & LIFT AREA :- 15.11+ 24.00=39.11 SQ.MT.



STAIR CABIN PLAN

B.A. :- 17.03 SQ. MT.



SPECIFICATIONS

STRUCTURE

Well designed & earthquake resistance
RCC Frame structure with good quality material
as per structural engineer's design specifications.

FLOORING

Superior quality vitrified flooring.

KITCHEN

Granite top platform with S.S. Sink.
Decorative glazed tiles dedo up to lintel level.

DOOR-WINDOW

Attractive main door with wooden frame.
Good quality flush door in all bedrooms with
laminates on both side.
Aluminium windows with granite frame.

ELECTRIFICATION

Concealed wiring of standard quality with
modular switches.
T.V. Point in living room & master bedrooms.
A.C. Point in all bedrooms.
General listing in common areas.
Well design right pole in common area.

TOILET / PLUMBING

Standard quality sanitary ware & branded
quality plumbing fittings.
Decorative glazed tiles dedo with modern
concept.

COLOUR

Paint to exterior surface wall and putty finish
with paint for internal wall surface.

BRANDS WE USED

Jaquar

KOHLER.

CERA

RR✓KÄBEL

ASTRAL
PIPES

Godrej

HÄFELE



Finolex

OTIS

Schneider
Electric

asianpaints

VALUE ADDITION



Elegant Entrance Gate
with Security Cabin



Standard quality Lift



Brickbat water proofing treatment
and china mosaic on terrace.



Underground cabling for esthetic
look of the project



Entire campus will under
CCTV camera surveillance



Attractive name plates,
Number Plate & letter box



Sufficient Ample car Parking



24 Hrs. security



Underground & Overhead tank
with level controllers to avoid
water wastage.



24 Hours water supply



Fire-Fighting System

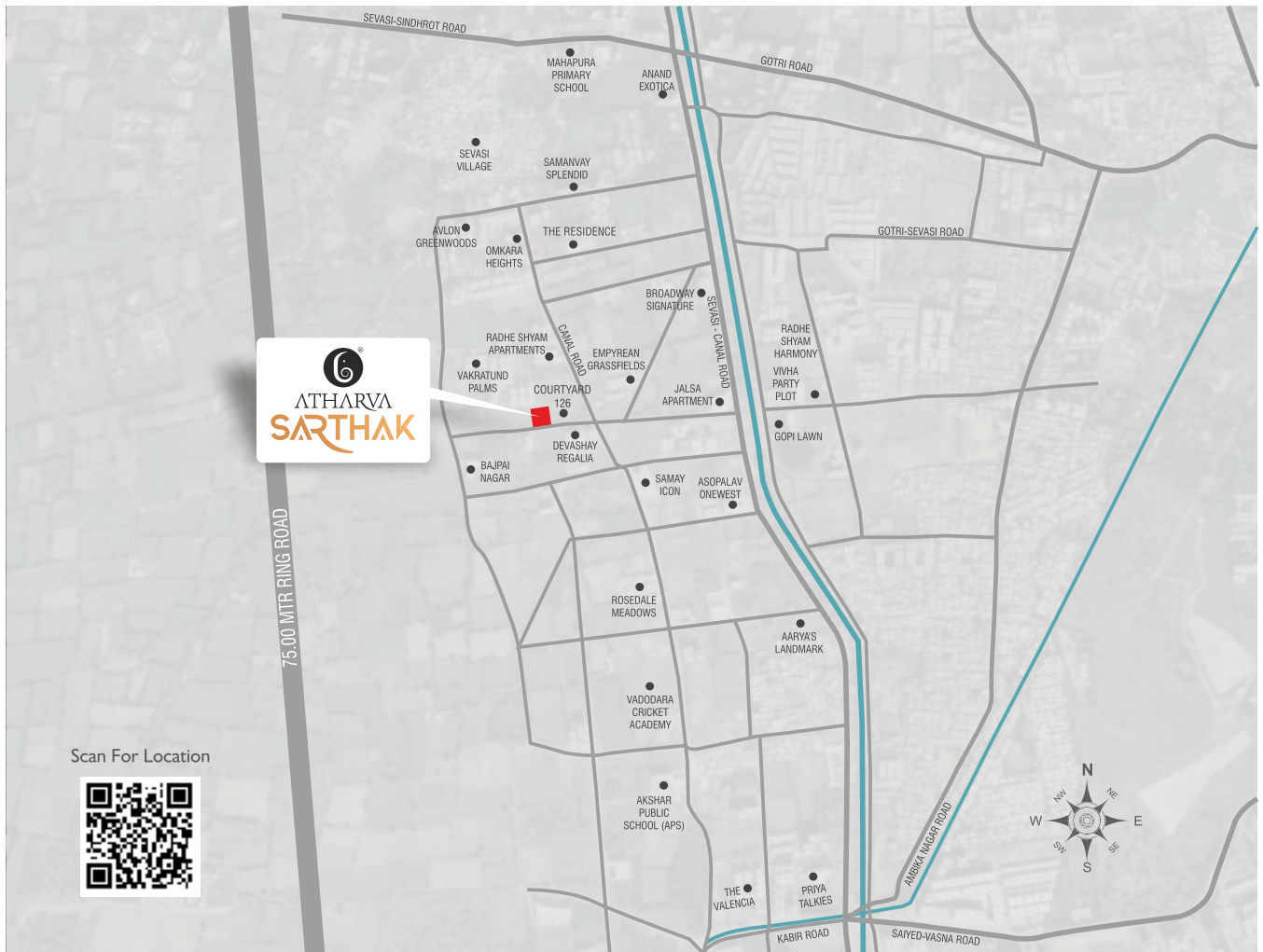


Anti-Termite Treatment



R.O. to each unit

LOCATION PLAN



Notes : (1) Possession will be given after one month of settlements of all accounts . (2) Extra work will be executed after receipt of full advance payment . (3) Documentation charges , Stamp duty , GST , common maintenance charge , Admistration charge will be extra . (4) Any new central or state government taxes , if applicable shall have to be borne by the customers . (5) Continuos default payments leads to cancellation . (6) in case of delay of water supply , light connection , drainage work by VMSS / MGVCL , developers will not be responsible . (7) Architect / Developers shall have the right to change of rise the scheme or any details herein and any change of revision will be binding to all . (8) Terrace right will be reserved for developers only . (9) Any plans , specification or information in this brochure can not form part of an offer contractor agreement (10) Subject to Vadodara jurisdiction . Any plans , specifications or information in this brochure can not form part of an offer , contract or agreement . It is only easy depiction of project .

A PROJECT BY :



Developers : **Atharva Shiv Parvati Developers**

Atharva Sarthak, B/H. Courtyard 126, Nr. Devashay Regalia, Sevasi T.P.I, Vadodara.

Call +91 **96879 93300**

atharvashivparvatidevelopers@gmail.com | www.atharvashivparvati.com

Architect :



Structure :

